HOUSING NEW ZEALAND CORPORATION

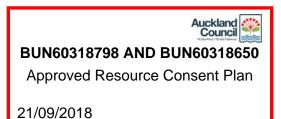
BEACH HAVEN ROAD

Landscape & Planting Plans

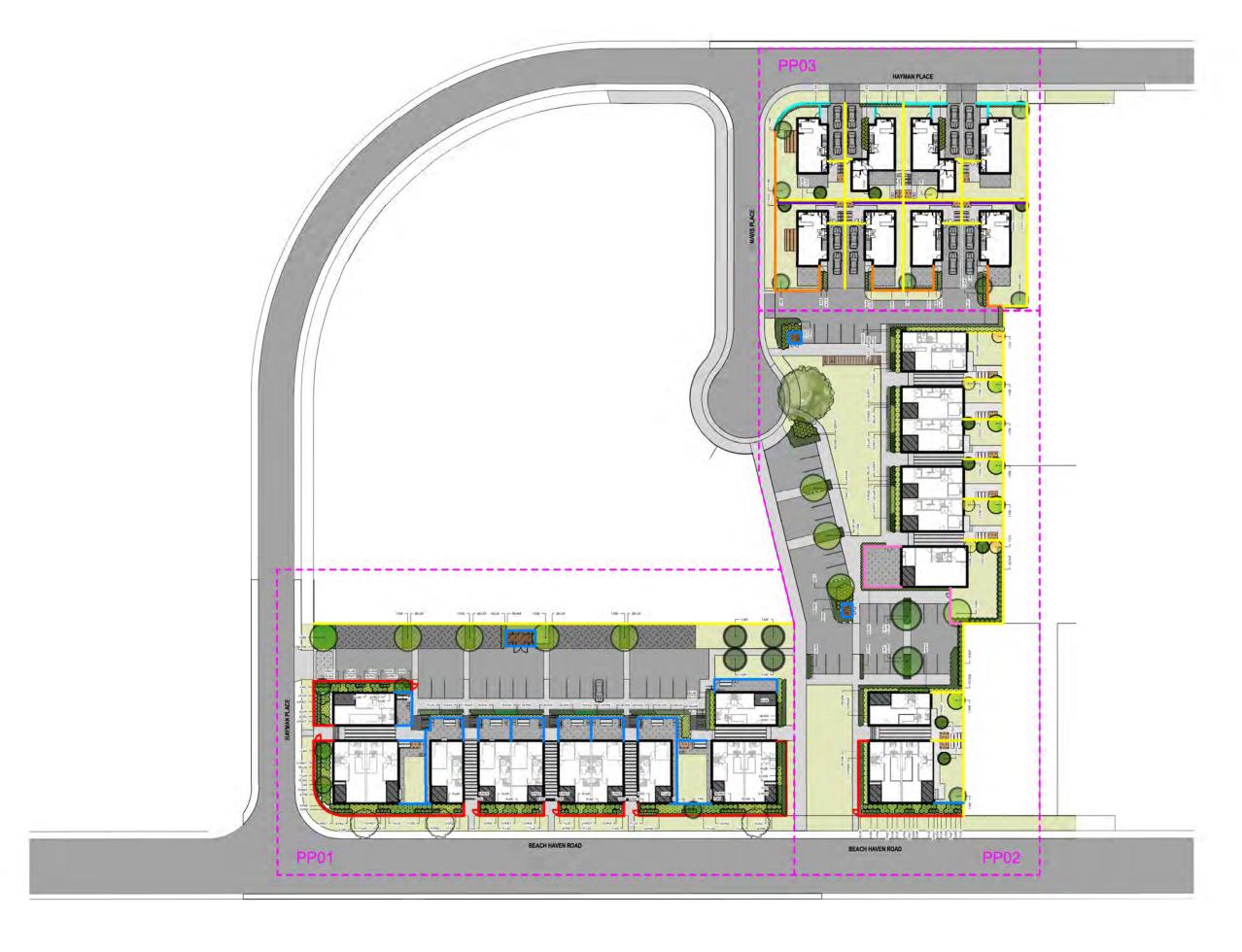
Prepared by LA4 Landscape Architects Issued 29.06.2018 (Resource Consent)

Drawing Index:

DRAWING NUMBER	TITLE	REVISION	DATE
MP01	Master Plan	E	29/6/18
LP01	Landscape Plan 01	E	29/6/18
LP02	Landscape Plan 02	F	29/6/18
LP03	Landscape Plan 03	E	29/6/18
LP04	Planting Images & Schedule	E	29/6/18
LP05	Hardscape Images	С	29/6/18
LP06	Maintainance Plan		29/6/18







E	Layout Update	JC RP RP 29.06.18	LAA Landerana Architecte	0.00	Design	RP	Client	Project:	Title:	Project No.	
D	Layout Update	JC RP RP 13,04.18	26 Kitchenes Street Auckland	ORIGINAL	Drafting	JC	LIQUONIO NEW		The state of the s	1,3 1-	18631
C	Layout Update	JC RP RP 11.04.18	PO Roy 5669 Wellesley Street Aurkland	1:750 @ A3	Drafting Checked	RP	HOUSING NEW	BEACH HAVEN BOAD	MASTER PLAN		10031
В	Layout Update	JC RP RP 09.04.18	p: 09 358 0904 f: 09 358 0895	@v2	Approval	RP	ZEALAND CORPORATION	BEACH HAVEN KUAD	WAS LETT LATE	Brender No.	
A	Layout Update	JC RP RP 29.03.18	LA4 e: la4@la4.co.nz				ZEALAND CONTONTION			Drawing No.	MD04
No.	Revision	By Chk Appd Date	ARCHITECTS WWW.I84.CO.NZ								WIFUT







1800 high close boarded timber

































Gardenmaster GM 1815 Garden



1500 high vertical slat

Layout Update Layout Update

Layout Update Revision

Asphalt Drive











Drafting
Drafting Checked

26 Kitchener Street, Auckland P.O. Box 5669, Wellesley Street, Auckland p: 09 358 0904 f: 09 358 0895

JC RP RP 20.03.18

By Chk Appd Date

| Appl Date | Appl Date | By Chk Appd Date | Appl Date | By Chk Appd Date | Appl Date | Appl Date | By Chk Appd Date | By Chk Ap











BEACH HAVEN ROAD







Bin storage

18631

LP01

Rev.

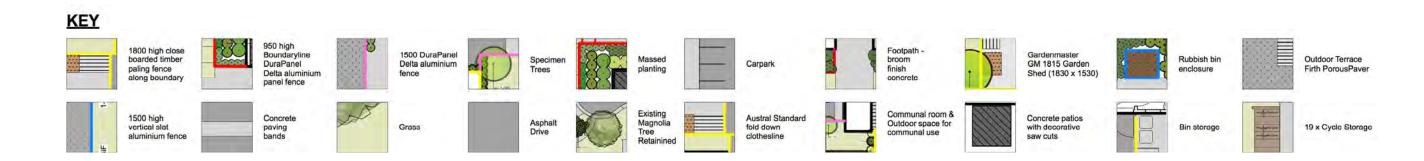
LANDSCAPE PLAN 01



HOUSING NEW

ZEALAND CORPORATION













1800 high close boarded timber paling fence along boundary



























Painted line on drive



1400 high Vertical Slat Aluminium Fence

















Retaining Wall



E	Layout Update	JC	RP	RP	29.06.18
D	Layout Update	JC	RP	RP	11.04.18
C	Layout Update	JC	RP	RP	09.04.18
В	Layout Update	JC	RP	RP	29.03.18
A	Layout Update	JC	RP	RP	20.03.18
No.	Revision	Bv	Chk	Appd	Date



LA4 Landscape Architects
26 Kitchener Street, Auckland
P.O. Box 5669, Wellesley Street, Auckland
p. 09 358 0904 f. 09 358 0895
LA4 e: Isa@jla4.co.nz
www.la4.co.nz

Design Drafting Drafting Checked

HOUSING NEW ZEALAND CORPORATION BEACH HAVEN ROAD

18631 LANDSCAPE PLAN 03 Rev. Drawing No. LP03

TREE IMAGES



















SHRUB IMAGES

































ID	Latin Name	Common Name	Spacing	Size	Quantity
AcF	Acer Freemanii 'Jeffers Red'	Freemans Maple	As Shown	45ltr	2
AIE	Alectryon excelsus 'Grandis'	Three Kings Titoki	As Shown	45ltr	13
ArB	Arthropodium bifurcatum 'Matapouri Bay'	Rock Lily	500	3ltr	116
CiL	Citrus latifolia	Persian lime	As Shown	18ltr	2
CiM	Citrus meyeri	Meyer lemon	As Shown	18ltr	4
CiU	Citrus unshiu	Satsuma mandarin	As Shown	18ltr	9
CoG	Corokia virgata 'Geenty's Ghost'	korokio	750	4.5ltr	65
DiG	Dietes grandiflora	Large wild iris	750	3ltr	205
DiN	Dianella nigra	Turutu	500	3ltr	802
GiF	Ginkgo biloba 'Fastigata'	Upright Maidenhair	As Shown	45ltr	4
GIS	Gleditsia triacanthos 'Shademaster'	Honey Locust	As Shown	45ltr	9
GrA	Griselinia littoralis 'Ardmore Emerald'	Kapuka	600	4.5ltr	245
LiG	Libertia grandiflora	Mikoikoi	500	3ltr	395
LilX	Libertia ixioides	New Zealand Iris	500	3ltr	161
LiP	Libertia peregrinans	NZ Sand Iris	400	3ltr	76
LoK	Lophomyrtus 'Kathryn'	Ramarama	1000	4.5ltr	100
LoP	Lophomyrtus 'Pixie'	Ramarama	500	4.5ltr	59
PhCT	Phormium cookianum 'Tricolor'	Flax lily	1000	4.5ltr	148
PhGD	Phormium 'Green Dwarf'	Harakeke Cultivar	1000	4.5ltr	88
PhS	Phormium 'Surfer'	Harakeke cultivar	500	4.5ltr	284
PIFF	Pittosporum 'Frankies Folly'	Kohuhu	500	4.5ltr	92
PIR	Plagianthus regius	Ribbonwood	As Shown	45ltr	5
PsP	Pseudopanex 'Purpurea'	Pseudopanex cultivar	1000	4.5ltr	38
ViT	Viburnum tinus 'Emerald Beauty'	Laurustinus	1000	5.6ltr	14

No.	Revision	By	Chk	Appd	Date
(A)	Prelimilary	JC	RP	RP	20.03.18
A	Plant Image & Schedule Update	JC	RP	RP	29.03.18
В	Plant Image & Schedule Update	JC	RP	RP	09.04.18
C	Plant Image & Schedule Update	JC	RP	RP	11.04.18
D	Plant Image & Schedule Update	JC	RP	RP	29.06.18

100	LA4 Land
	26 Kitchene
Ŭ	P.O. Box 56
	p: 09 358 09
LA4	e: la4@la4.
ARCHITECTS	www.la4.co.
	LA4

ndscape Architects ener Street, Auckland 5669, Wellesley Street, Auckland 30904 f; 09 358 0895 34.co.nz co.nz

	Design	RP	
ORIGINAL	Drafting	JC	
@ A3	Drafting Checked	RP	
	Approval	RP	

HOUSING NEW ZEALAND CORPORATION

BEACH HAVEN ROAD

PLANTING IMAGES & SCHEDULE

18631 Rev. LP04

Hardscape Images



Timber paling fence 1800 / 1500mm



Boundaryline Dura Panel Delta 950 / 1200 / 1500mm aluminium fence



Vertical Slat 1400 / 1500mm aluminium fence



Concrete Patios with Decorative Saw Cuts



Exposed aggregate path





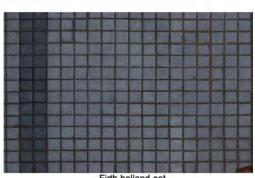
Broom finish concrete path with trowelled border



Asphalt driveway with 500mm wide acid etched plain concrete bands



Firth Flow Pave Permeable Paver





Austral Retractaway Clothesline 40



Austral Fold Down Clothesline 2400 x 1500mm



Gardenmaster GM1815 Garden Shed

C	Hardscape Image Update	JC	RP	RP	26.06.18
В	Hardscape Image Update	JC	RP	RP	09.04.18
A	Hardscape Image Update	JC	RP	RP	29.03.18
	Prelimilary	JC	RP	RP	20.03.18
No.	Revision	By	Chk	Appd	Date



andscape Architects		Design	RP	
hener Street, Auckland	ORIGINAL	Drafting	JC	
ox 5669. Wellesley Street. Auckland	@ A3	Drafting Checked	RP	
58 0904 f: 09 358 0895		Approval	RP	
gla4.co.nz				
4.co.nz				

-	HOUSING NEW
-	ZEALAND CORPORATION
٦	The state of the s

BEACH HAVEN ROAD	
------------------	--

	Project No.	
HARDSCAPE IMAGES	18631	
	Drawing No.	Rev.







Areas to be maintained by tenants





	Prelimilary	JC	RP	RP	29.06.18
No.	Revision	Ву	Chk	Appd	Date

	V	LA4 Landscape Architects
+	W	26 Kitchener Street, Auckland
+	¥	P.O. Box 5669, Wellesley Street, Auckland
8	I A4	p: 09 358 0904 f; 09 358 0895 e: la4@la4.co.nz
0	LANDSCAPE ARCHITECTS	www.la4.co.nz

ORIGINAL Design	Design	RP
	JC	
1:750 @ A3	Drafting Checked RP	RP
@m	Approval	RP

HOUSING NEW
ZEALAND CORPORATION

BEACH HAVEN ROAD

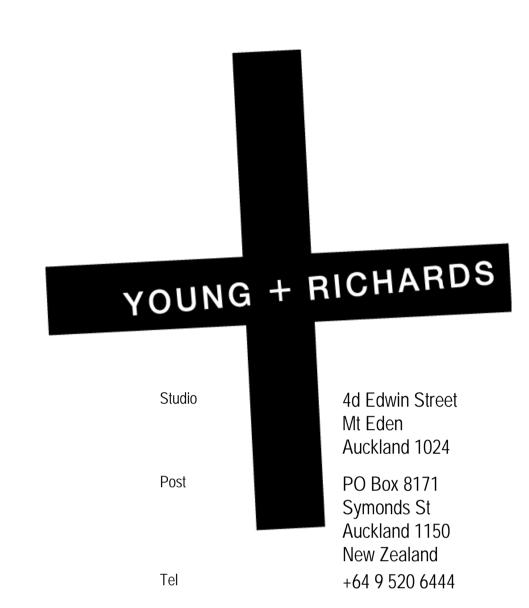
MAINTENANCE PLAN	Project No.	18631	
20, 20, 20, 20, 20, 20, 20, 20, 20, 20,	Drawing No.	LP06	



BEACH HAVEN, MAVIS AND HAYMAN DEVELOPMENT

RESOURCE CONSENT

183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE BEACH HAVEN, AUCKLAND



Barker & Associates Planner PO Box 1986

Shortland Street, Auckland 1140 +64 9 375 0900 Contact: Sarah Burgess

Engineering Design Consultants (EDC)

Surveyor PO Box 118 Albany Village, Auckland 0755 +64 9 451 9044 Contact: Carey Senior

LA4 Landscape Architects

Landscape Architect PO Box 5669 Wellesley Street, Auckland 1141 +64 9 358 0904 Contact: Rob Pryor

Traffic Planning Consultants

Traffic PO Box 60-255 Titirangi, Auckland 0642 +64 9 817 2500 Contact: Todd Langwell

TBC

Contractor

Contact:

Housing New Zealand

PO Box 74598 Auckland 1546 +64 9 261 5484 Contact: Maria Dettmer

REVISION

06/07/18 16/04/18

DRAWING INDEX

RESOURCI	E CONSENT	RESOURCE CONSENT 16/04/18	REVISION 06/07/18		
A00	COVER SHEET	HNZ, CN	HNZ, CN		
A00.01	DRAWING INDEX	HNZ, CN	HNZ, CN		
A00.02	VICINITY MAP, LOCATION MAP, PROJECT INFO	HNZ, CN	HNZ, CN		
A00.50.X	EXISTING OVERALL SITE PLAN SHOWING DEMOLITION	HNZ, CN	HNZ, CN		
A00.50.P	PROPOSED OVERALL SITE PLAN	HNZ, CN	HNZ, CN		
A00.50.PP	PROPOSED OVERALL SITE AREA PLAN	HNZ, CN	HNZ, CN		
A00.50A	EXISTING SITE PLAN_PART A	HNZ, CN	HNZ, CN		
A00.51A	PROPOSED SITE PLAN_PART A	HNZ, CN	HNZ, CN		
A00.52A	PROPOSED SITE PLAN (FIRST FLOOR)_PART A	HNZ, CN	HNZ, CN		
A00.53A	PROPOSED SITE PLAN (SECOND FLOOR)_PART A	HNZ, CN	HNZ, CN		
A00.54A	PROPOSED ROOF PLAN_PART A	HNZ, CN	HNZ, CN		
A00.55A	PROPOSED OUTLOOK GROUND FLOOR_PART A	HNZ, CN	HNZ, CN		
A00.56A	PROPOSED OUTLOOK FIRST & SECOND FLOOR_PART A	HNZ, CN	HNZ, CN		
A00.50B	EXISTING SITE PLAN_ PART B	HNZ, CN	HNZ, CN		
A00.51B	PROPOSED SITE PLAN_ PART B	HNZ, CN	HNZ, CN		
A00.52B	PROPOSED SITE PLAN (FIRST FLOOR)_PART B	HNZ, CN	HNZ, CN		
A00.53B	PROPOSED SITE PLAN (SECOND FLOOR)_PART B	HNZ, CN	HNZ, CN		
A00.54B	PROPOSED ROOF PLAN_PART B	HNZ, CN	HNZ, CN		
A00.55B	PROPOSED OUTLOOK GROUND FLOOR_PART B	HNZ, CN	HNZ, CN		
A00.56B	PROPOSED OUTLOOK FIRST & SECOND FLOOR_PART B	HNZ, CN	HNZ, CN		
A00.50C	EXISTING SITE PLAN_PART C	HNZ, CN	HNZ, CN		
A00.51C	PROPOSED SITE PLAN_ PART C	HNZ, CN	HNZ, CN		
A00.52C	PROPOSED SITE PLAN (FIRST FLOOR)_PART C	HNZ, CN	HNZ, CN		
A00.54C	PROPOSED ROOF PLAN_PART C	HNZ, CN	HNZ, CN		
A00.55C	PROPOSED OUTLOOK GROUND FLOOR_PART C	HNZ, CN	HNZ, CN		
A00.56C	PROPOSED OUTLOOK FIRST & SECOND FLOOR_PART C	HNZ, CN	HNZ, CN		
A00.58	SITE COVERAGES CALCULATIONS	HNZ, CN	HNZ, CN		
A00.59	HIRB DIAGRAMS	HNZ, CN	HNZ, CN		
A00.60	PARKING & DRIVEWAY SECTIONS	HNZ, CN	HNZ, CN		
A01.01	FLOOR PLANS (2 BED_AA + A)	HNZ, CN	HNZ, CN		
A01.02	FLOOR PLANS (2 BED_AA1 + A1)	HNZ, CN	HNZ, CN		
A01.03	FLOOR PLANS (2 BED_B)	HNZ, CN	HNZ, CN		
A01.04	FLOOR PLANS (2 BED_B1)	HNZ, CN	HNZ, CN		
A01.05	FLOOR PLANS (3 BED_TYPE C)	HNZ, CN	HNZ, CN		
A01.06	FLOOR PLANS (3 BED_TYPE CC)	HNZ, CN	HNZ, CN		
7 10 1100			<u> </u>		

RESOURCE CONSENT

		RESOURCE CON 16/04/18	REVISION 06/07/18			
A11.00	SITE ELEVATIONS_PART A	HNZ, CN	HNZ, CN			
A11.01	SITE ELEVATIONS_PART B	HNZ, CN	HNZ, CN			
A11.02	SITE ELEVATIONS_PART C	HNZ, CN	HNZ, CN			
A11.10	EXTERIOR ELEVATIONS_BUILDING A01	HNZ, CN	HNZ, CN			
A11.11	EXTERIOR ELEVATIONS_BUILDING A02	HNZ, CN	HNZ, CN			
A11.12	EXTERIOR ELEVATIONS_BUILDING A03	HNZ, CN	HNZ, CN			
A11.13	EXTERIOR ELEVATIONS_BUILDING B01	HNZ, CN	HNZ, CN			
A11.14	EXTERIOR ELEVATIONS_BUILDING B02	HNZ, CN	HNZ, CN			
A11.15	EXTERIOR ELEVATIONS	HNZ, CN	HNZ, CN			
A11.50	BUILDING SECTIONS	HNZ, CN	HNZ, CN			
A11.51	BUILDING SECTIONS	HNZ, CN	HNZ, CN			
A100.00	PERSPECTIVES	HNZ, CN	HNZ, CN			
A100.01	PERSPECTIVES	HNZ, CN	HNZ, CN			
A100.02	PERSPECTIVES	HNZ, CN	HNZ, CN			
A100.03	PERSPECTIVES	HNZ, CN	HNZ, CN			
A100.04	BREEZEWAY CONCEPT	HNZ, CN	HNZ, CN			
A100.05	GATEHOUSE CONCEPT	HNZ, CN	HNZ, CN			
A100.06	EXTERIOR FINISHES SCHEDULE	HNZ, CN	HNZ, CN			

DRAWING INDEX KEY

CONSULTANTS + AUTHORITIES

AV	Audio-Visual Consultant	EL	Electrician	ME	Mechanical Engineer	TN	Tenderers
CE	Civil Engineer	EE	Electrical Engineer + Lighting	QS	Quantity Surveyor	HNZ	Client
CL	Cladding Consultant	FE	Fire Engineer	RW	Roofing & Waterproofing		
CN	Council	GE	Geotechnical Engineer	SE	Structural Engineer		
CO	Contractor	LA	Landscape Consultant	SS	Site Surveyor		

BEACH HAVEN, MAVIS AND HAYMAN DEVELOPMENT 183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE BEACH HAVEN, AUCKLAND



Studio

4d Edwin Street Mt Eden Auckland 1024 New Zealand PO Box 8171 Symonds St Auckland 1150 New Zealand

+64 9 520 6444 Fax +64 9 520 6443 Email info@youngrichards.com Web www.youngrichards.com LBP BP121069



Date	Issue Description	E
1 16/04/18	RESOURCE CONSENT	P
2 06/07/18	RC REVISION	A

Seal / Signature

Job Number 17-YR52-HNZ

Job Status RESOURCE CONSENT

THE FINE PRINT

All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws.

All work shall comply with the terms and conditions of the Building, Resource and Demolition Consents issued for this project.

All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations.

Architectural drawings shall be read in conjunction with all relevant Engineers documentation.

Contractor shall check and confirm on site all dimensions and discrepancies or differences within the contract documents prior to starting the works.

This drawing must not be scaled.

This drawing must be read in conjunction with relevant specification clauses.

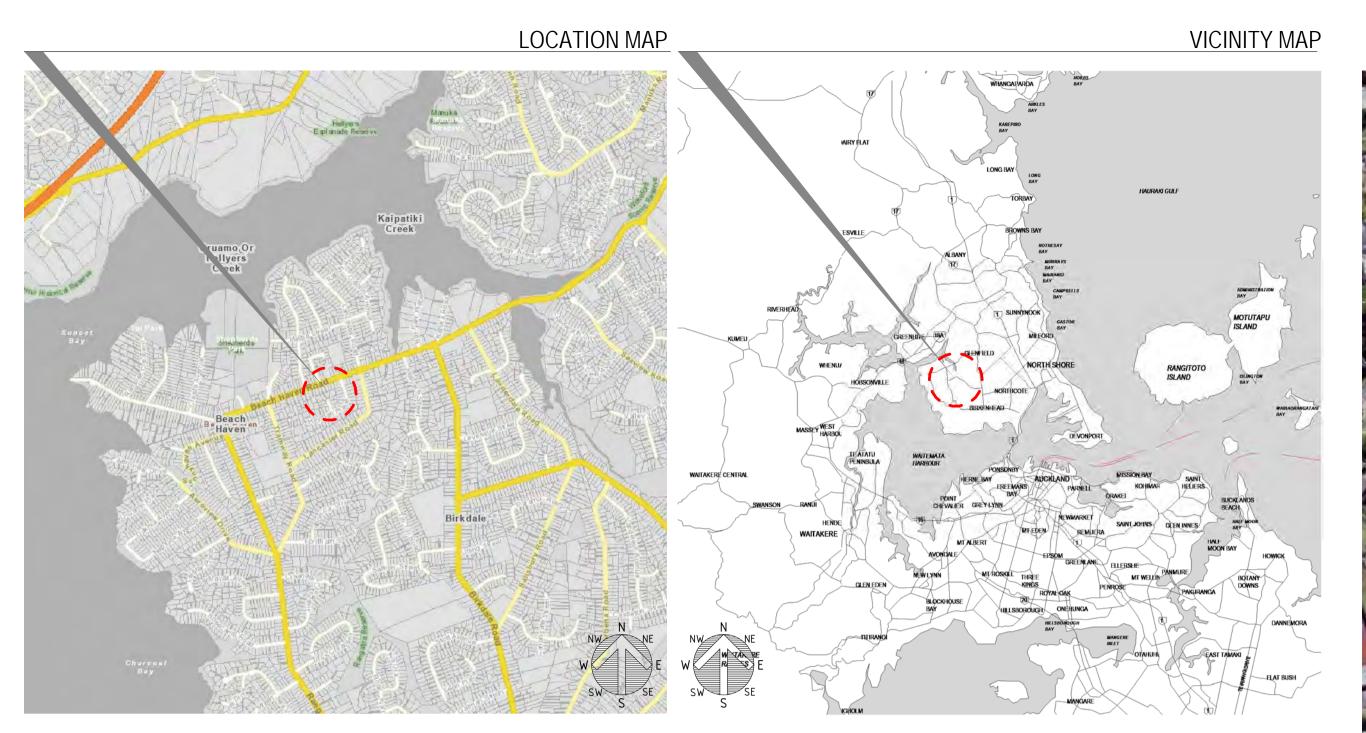
This drawing and the intellectual property it represents remain the copyright of Young + Richards Ltd.

Sheet File

Sheet Description DRAWING INDEX

Sheet Scale 1:1 @ A1

Sheet Number





PROJECT INFORMATION

LEGAL DESCRIPTION

SITE ADDRESS 183,185,187,189,191,193,195,197 BEACH HAVEN ROAD / 19,21,23

HAYMAN PLACE / 4,6,8,10 MAVIS PLACE

BEACH HAVEN AUCKLAND 0626

TERRITORIAL AUTHORITY NORTH SHORE CITY COUNCIL

LOT REFER TO A00.50.X **DEPOSIT PLAN** REFER TO A00.50.X

CERTIFICATE OF TITLE REFER TO A00.50.X

SITE AREA REFER TO A00.50.X

ZONE MIXED HOUSING URBAN ZONE

MEDIUM WIND ZONE EARTHQUAKE ZONE ZONE 1

EXPOSURE ZONE ZONE C (NZS 3604:2011 Fig 5.4) BEACH HAVEN, MAVIS AND HAYMAN DEVELOPMENT

183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE BEACH HAVEN, AUCKLAND

AERIAL PHOTO

YOUNG + RICHARDS

4d Edwin Street Mt Eden Auckland 1024

New Zealand PO Box 8171 Symonds St Auckland 1150 New Zealand

+64 9 520 6444 +64 9 520 6443 info@youngrichards.com www.youngrichards.com



 Date
 Issue Description

 1
 16/04/18
 RESOURCE CONSENT

 2
 06/07/18
 RC REVISION

Seal / Signature

Job Number 17-YR52-HNZ

Job Status

RESOURCE CONSENT

- THE FINE PRINT

 All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws.

 All work shall comply with the terms and conditions of the Building, Resource and Demolition Consents issued for this project.

 All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations.

 Architectural drawings shall be read in conjunction with all relevant Engineers documentation.

 Contractor shall check and confirm on site all dimensions and discrepancies or differences within the contract documents prior to starting the works.

 This drawing must not be scaled.

 This drawing must be read in conjunction with relevant specification clauses.

 This drawing and the intellectual property it represents remain the copyright of Young + Richards Ltd.

Sheet File

Sheet Description VICINITY MAP, LOCATION MAP, PROJECT INFO

Sheet Scale NONE

Sheet Number



EXISTING SITE PLAN SHOWING DEMOLITION 01 SCALE: 1:500

KEY NOTES

(01) EXISTING VEHICLE CROSSING TO BE DEMOLISHED HAYMAN DEVELOPMENT

02) EXISTING TREE TO BE REMAIN

BEACH HAVEN, MAVIS AND

183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE

BEACH HAVEN, AUCKLAND

YOUNG + RICHARDS

4d Edwin Street Mt Eden Auckland 1024 New Zealand PO Box 8171 Symonds St Auckland 1150

+64 9 520 6444 +64 9 520 6443 info@youngrichards.com www.youngrichards.com



Date Issue Description
1 16/04/18 RESOURCE CONSENT 2 06/07/18 RC REVISION

SHEET NOTES

LEGEND

- 1. SITE SURVEY INFORMATION AS PROVIDED BY CIVILPLAN CONSULTANTS (DATED MAR 2017) AND BOUNDARY CONSULTANTS (DATED JAN 2018).
- 2. REFER TO SHEET A00.50A-C FOR SITE SERVICES

EXISTING BUILDING COVERAGE TO BE

EXISTING WASHING LINE TO BE REMOVED

OTHER IMPERMEABLE SURFACES TO BE DEMOLISHED

DEMOLISHED

EXISTING CONCRETE DRIVEWAY

AND PATH TO BE DEMOLISHED

Job Number 17-YR52-HNZ

Seal / Signature

Job Status

RESOURCE CONSENT

All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws.

 All work shall comply with the terms and conditions of the Building, Resource

All work state comply with the terms and conditions of the building, Resource and Demolition Consents issued for this project.

All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations.

Architectural drawings shall be read in conjunction with all relevant Engineers

documentation.

documentation.

Contractor shall check and confirm on site all dimensions and discrepancies or differences within the contract documents prior to starting the works.

This drawing must not be scaled.

This drawing must be read in conjunction with relevant specification clauses.

This drawing and the intellectual property it represents remain the copyright of Young + Richards Ltd.

Sheet File

Sheet Description EXISTING OVERALL SITE PLAN SHOWING DEMOLITION

Sheet Scale 1:500 @ A1

Sheet Number

© 2018 Young + Richards Ltd.

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 12 of 97

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 13 of 97

SCALE: 1:500

00.50

© 2018 Young + Richards Ltd.

PROPOSED SITE PLAN OVERALL SITE PLAN OVERALL SITE PLAN

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 14 of 97

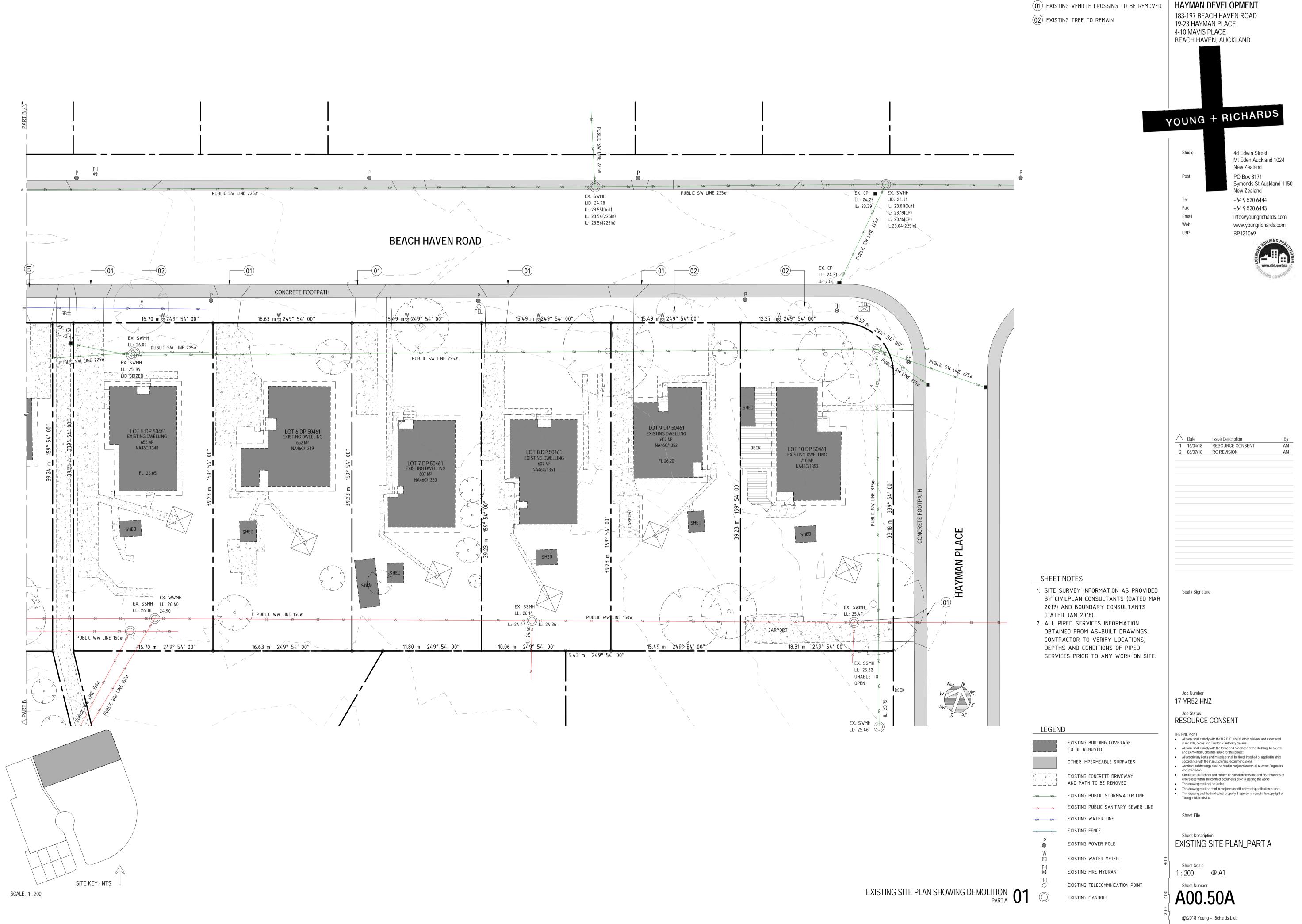
SCALE: 1:500

BEACH HAVEN, MAVIS AND

info@youngrichards.com www.youngrichards.com



PROPOSED SITE AREA PLAN OVERALL SITE PLAN



BEACH HAVEN, MAVIS AND

KEY NOTES

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 15 of 97



Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 16 of 97

183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE

HAYMAN DEVELOPMENT

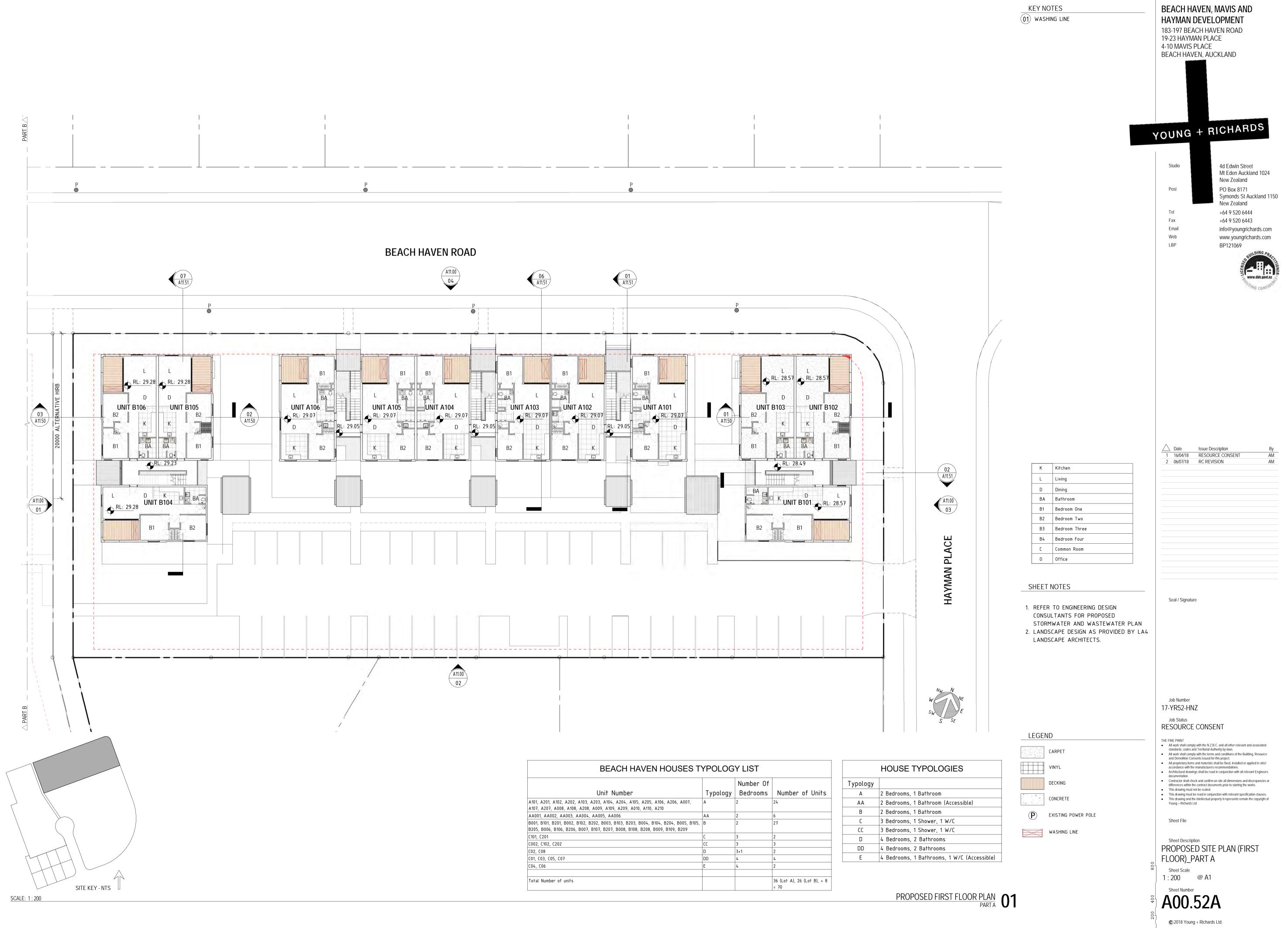
BEACH HAVEN, MAVIS AND

KEY NOTES

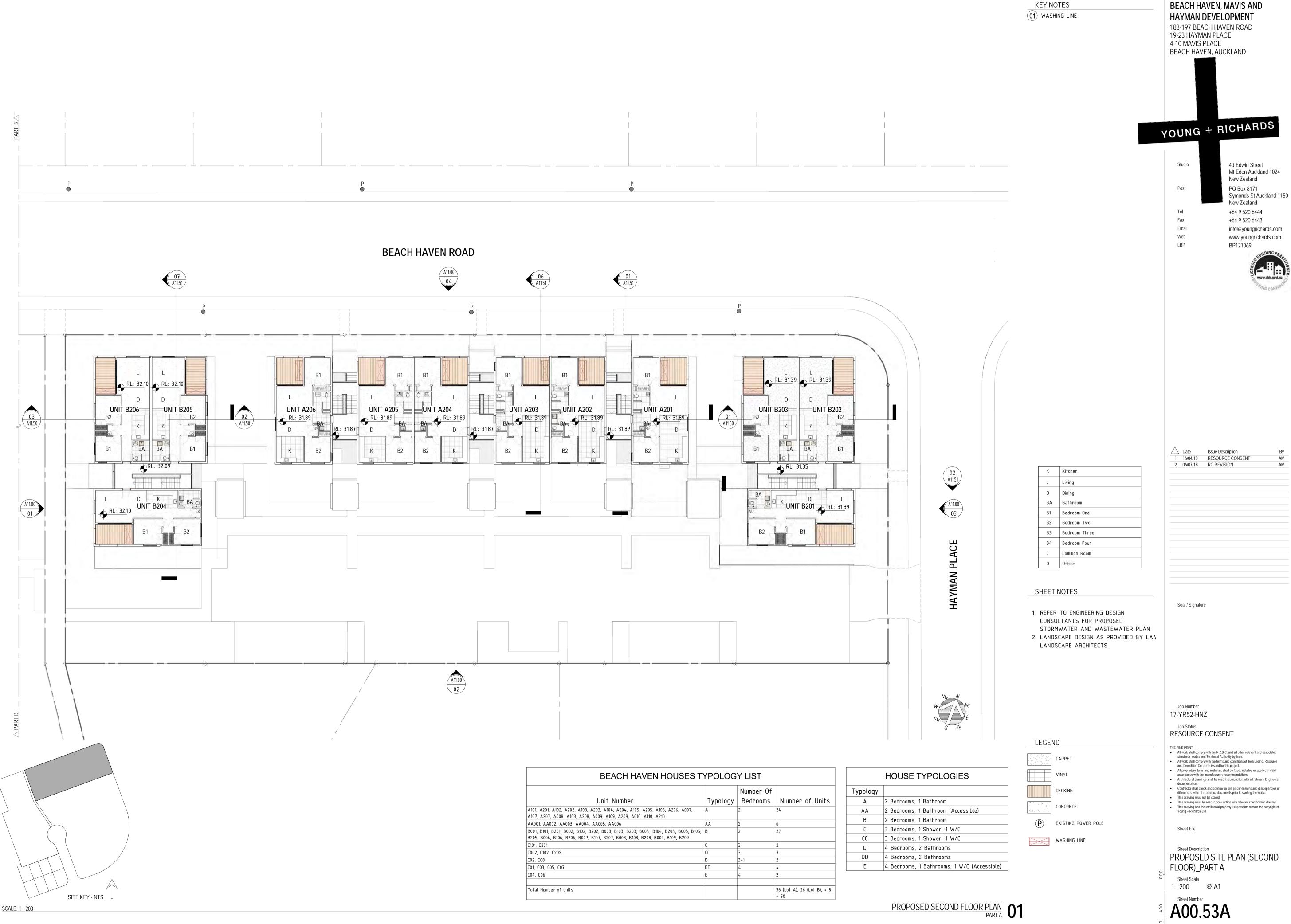
(01) PROPOSED CONCRETE PATH

(02) ENCLOSED RUBBISH STORAGE

Symonds St Auckland 1150



Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 17 of 97



Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 18 of 97

Mt Eden Auckland 1024

KEY NOTES

info@youngrichards.com



- All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws. All work shall comply with the terms and conditions of the Building, Resource
- All proprietary items and materials shall be fixed, installed or applied in strict

- This drawing must be read in conjunction with relevant specification clauses.

PROPOSED SITE PLAN (SECOND

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 19 of 97

SCALE: 1:200

Symonds St Auckland 1150



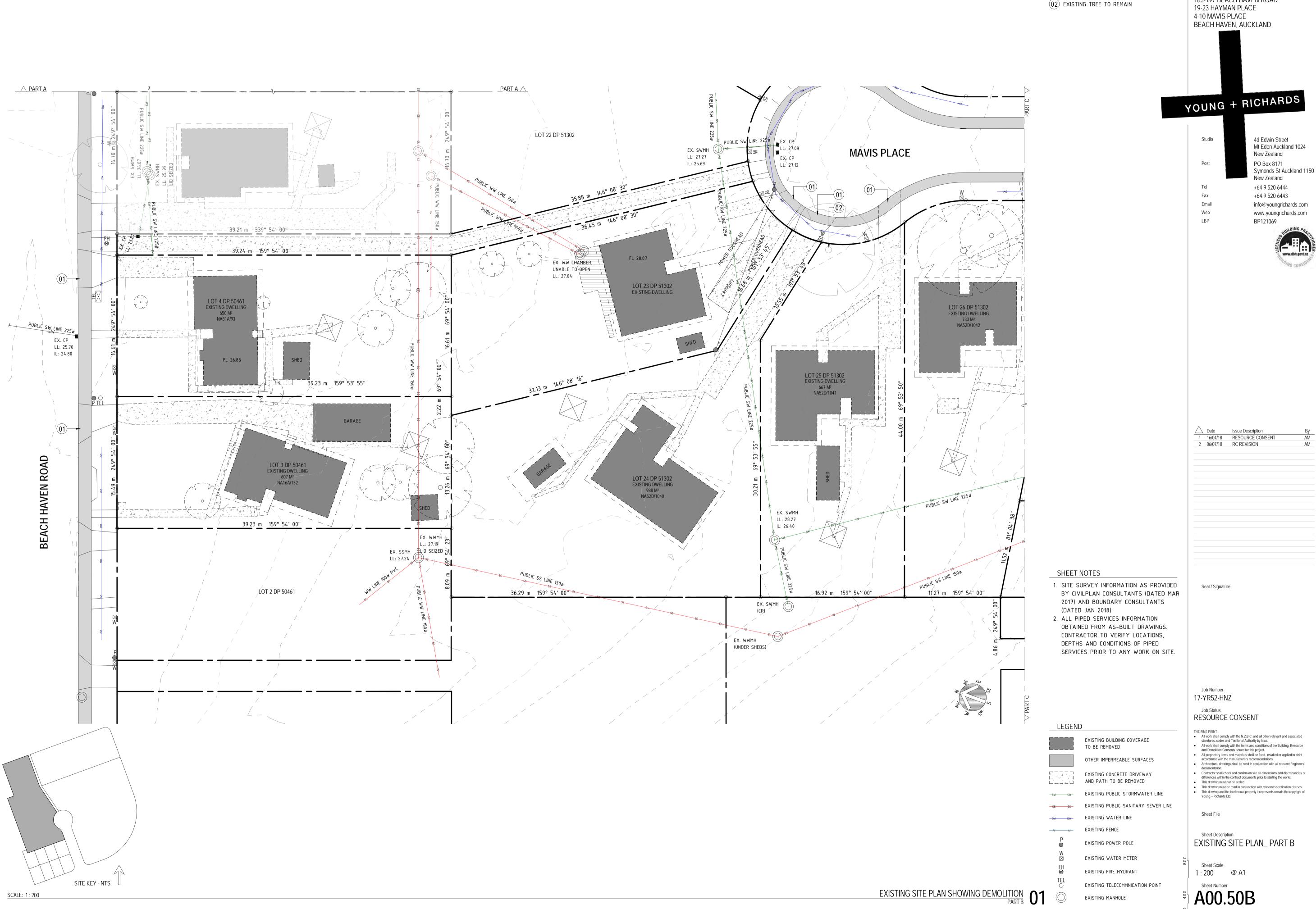
A00.54A

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 20 of 97

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 21 of 97

© 2018 Young + Richards Ltd.

SCALE: 1:200



Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 22 of 97

KEY NOTES

(01) EXISTING VEHICLE CROSSING TO BE REMOVED

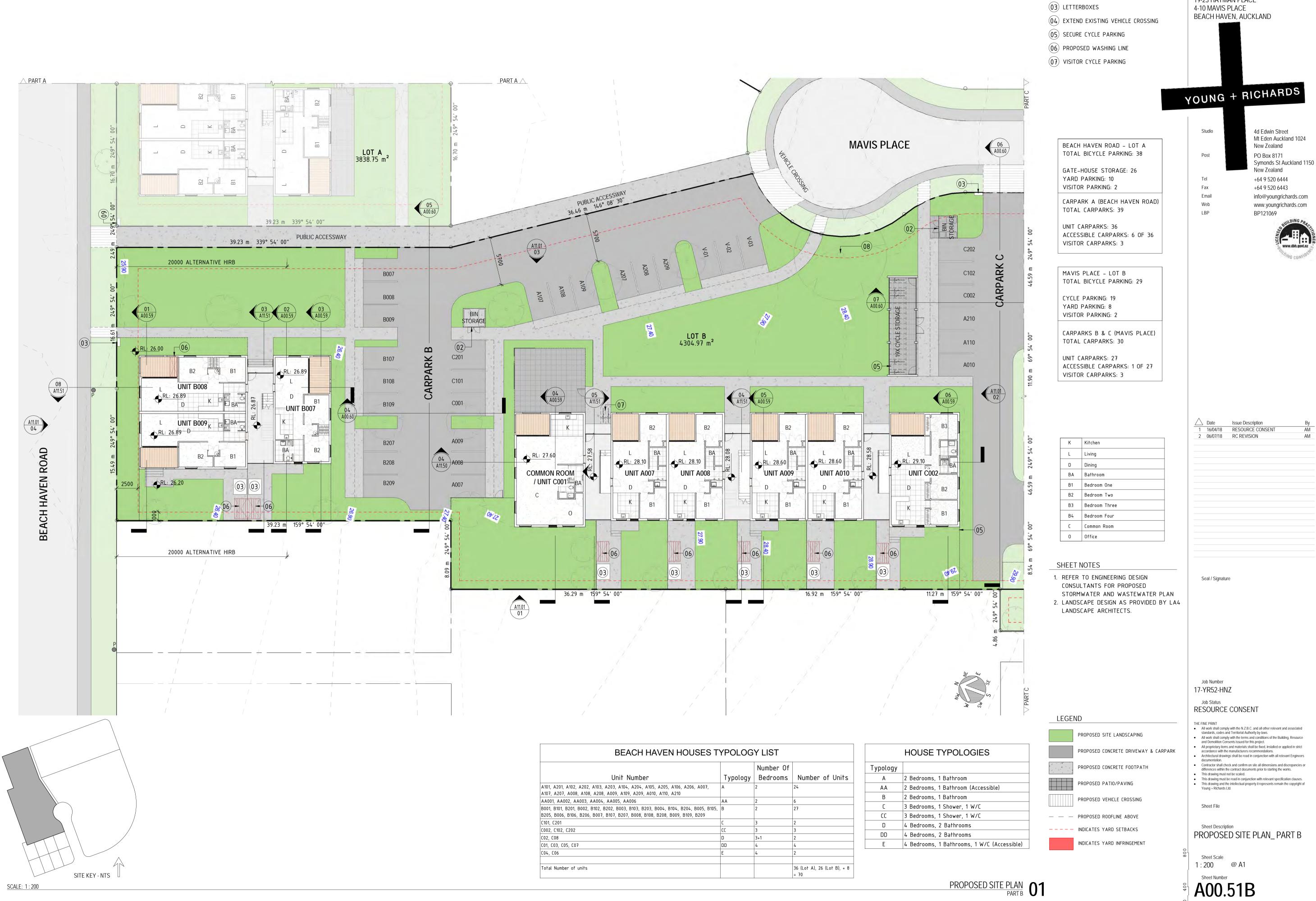
02 EXISTING TREE TO REMAIN

BEACH HAVEN, MAVIS AND HAYMAN DEVELOPMENT

183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE

Mt Eden Auckland 1024





Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 23 of 97

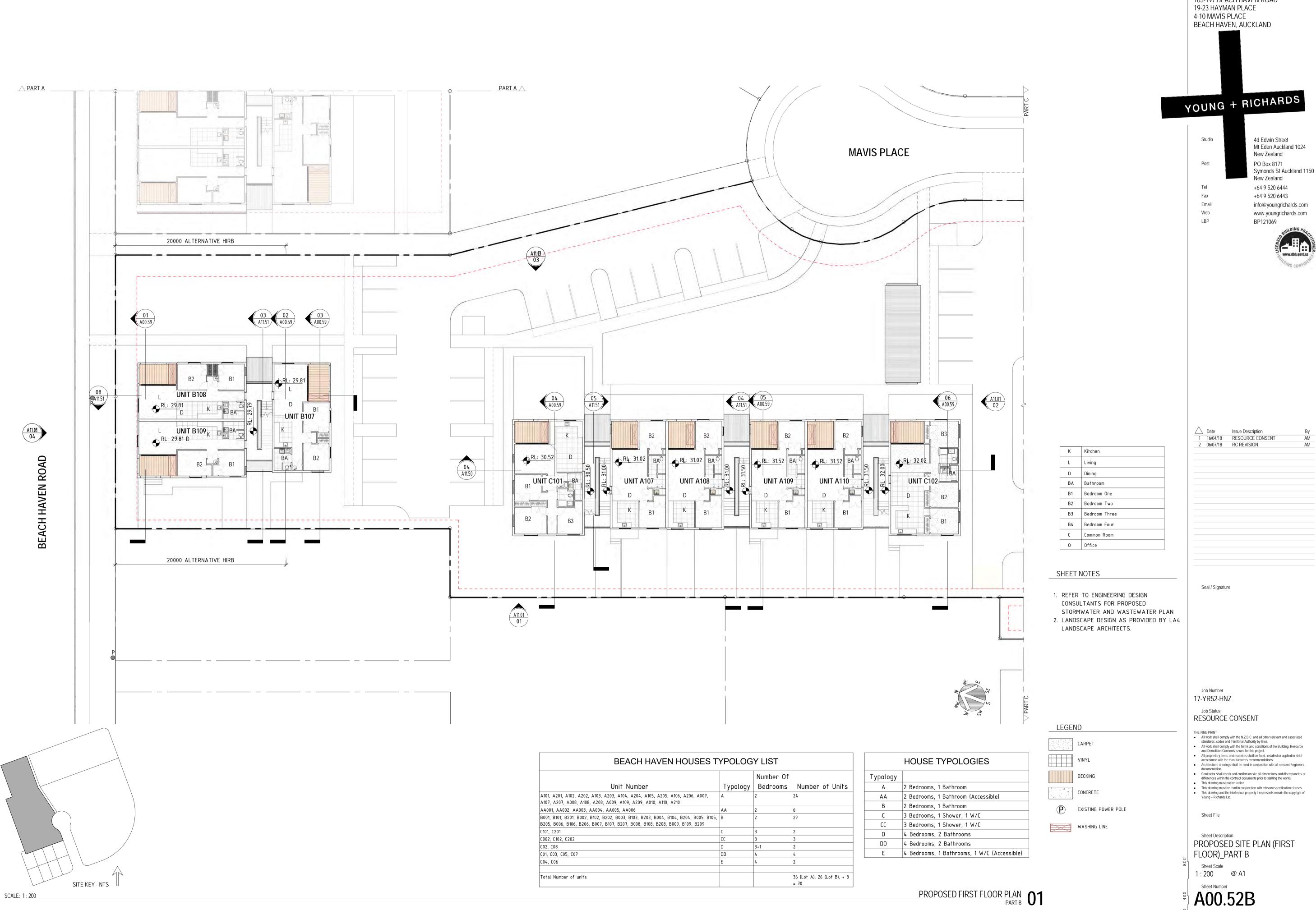
BEACH HAVEN, MAVIS AND HAYMAN DEVELOPMENT

183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE

KEY NOTES

(01) PROPOSED CONCRETE PATH

(02) ENCLOSED RUBBISH STORAGE



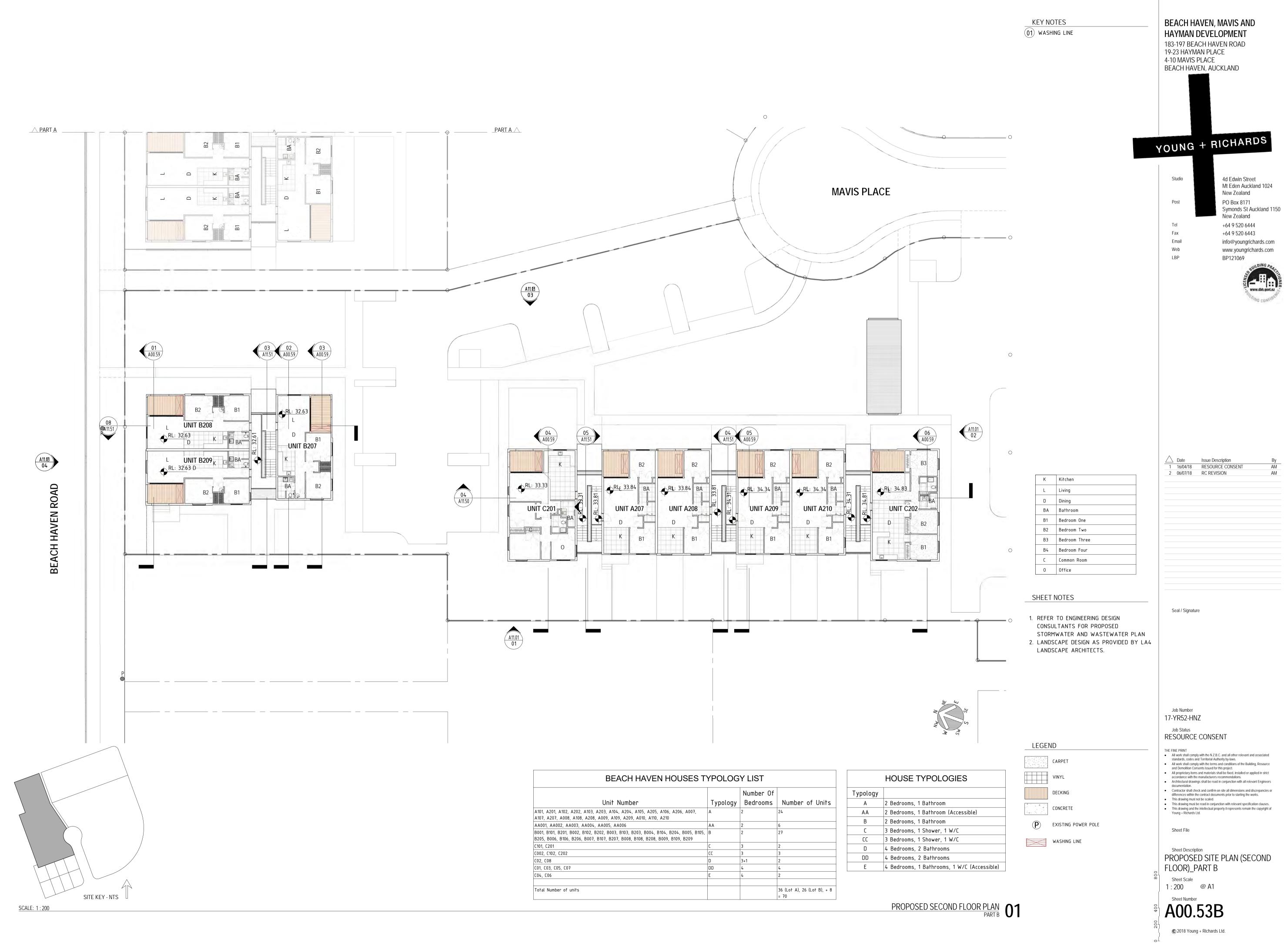
Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 24 of 97

BEACH HAVEN, MAVIS AND HAYMAN DEVELOPMENT

KEY NOTES

01) WASHING LINE

183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE



BEACH HAVEN, MAVIS AND **KEY NOTES** HAYMAN DEVELOPMENT 183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE BEACH HAVEN, AUCKLAND PART A / YOUNG + RICHARDS 4d Edwin Street Mt Eden Auckland 1024 Studio **MAVIS PLACE** New Zealand PO Box 8171 Symonds St Auckland 1150 New Zealand +64 9 520 6444 +64 9 520 6443 info@youngrichards.com Web www.youngrichards.com LBP BP121069 5.00° 5.00° → Date Issue Description
1 16/04/18 RESOURCE CONSENT 2 06/07/18 RC REVISION 04 A11.50 5.00° SHEET NOTES Seal / Signature Job Number 17-YR52-HNZ Job Status RESOURCE CONSENT LEGEND THE FINE PRINT

All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws.

All work shall comply with the terms and conditions of the Building, Resource and Demolition Consents issued for this project.

All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations.

Architectural drawings shall be read in conjunction with all relevant Engineers documentation. SELECTED METAL ROOF ---- INDICATES YARD SETBACKS INDICATES YARD INFRINGEMENT documentation.

Contractor shall check and confirm on site all dimensions and discrepancies or differences within the contract documents prior to starting the works.

This drawing must not be scaled.

This drawing must be read in conjunction with relevant specification clauses.

This drawing and the intellectual property it represents remain the copyright of Young + Richards Ltd. Sheet Description PROPOSED ROOF PLAN_PART B Sheet Scale 1 : 200 @ A1 A00.54B

BEACH HAVEN ROAD

SITE KEY - NTS

SCALE: 1:200

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 26 of 97



1:200 @ A1

Sheet Number

FOR BALCONIES ABOVE GROUND LEVEL)

PROPOSED GROUND FLOOR OUTLOOK PART B 1

© 2018 Young + Richards Ltd.

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 27 of 97

SITE KEY - NTS

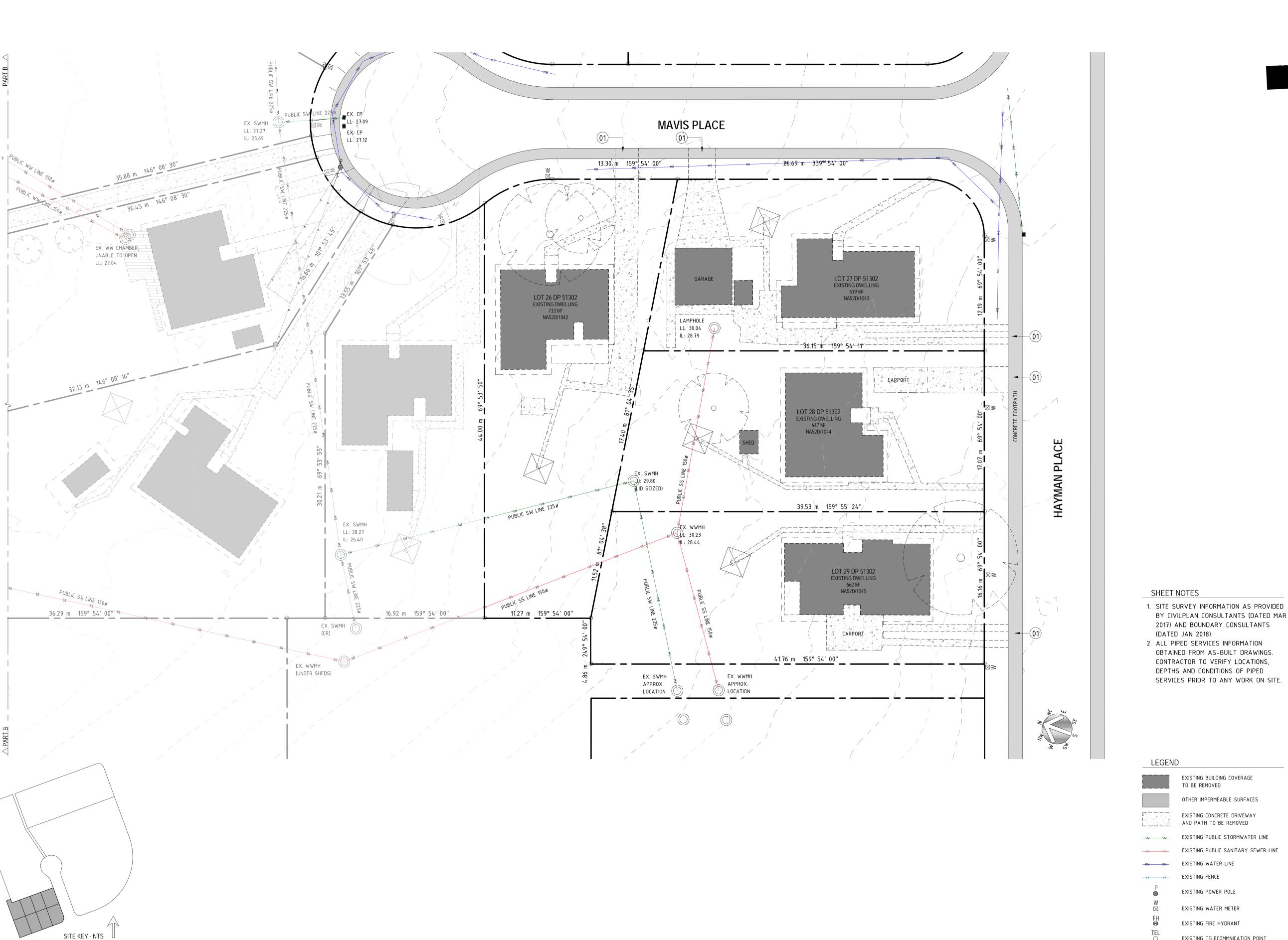
SCALE: 1:200

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 28 of 97

KEY NOTES



A00.56B



KEY NOTES

(01) EXISTING VEHICLE CROSSING TO BE REMOVED

02) EXISTING TREE TO REMAIN

BEACH HAVEN, MAVIS AND HAYMAN DEVELOPMENT

183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE BEACH HAVEN, AUCKLAND

YOUNG + RICHARDS

4d Edwin Street Mt Eden Auckland 1024 New Zealand PO Box 8171

BP121069

Symonds St Auckland 1150

New Zealand +64 9 520 6444 +64 9 520 6443 info@youngrichards.com www.youngrichards.com

LBP



1 16/04/18 RESOURCE CONSENT 2 06/07/18 RC REVISION

BY CIVILPLAN CONSULTANTS (DATED MAR

EXISTING TELECOMMNICATION POINT

EXISTING MANHOLE

EXISTING SITE PLAN SHOWING DEMOLITION PART C 01

17-YR52-HNZ

Job Number

Job Status

RESOURCE CONSENT

All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws.

- All work shall comply with the terms and conditions of the Building, Resource and Demolition Consents issued for this project.
- All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations Architectural drawings shall be read in conjunction with all relevant Engineers
- documentation. Contractor shall check and confirm on site all dimensions and discrepancies or
- differences within the contract documents prior to starting the works.

 This drawing must not be scaled.
- This drawing must be read in conjunction with relevant specification clauses.
- This drawing and the intellectual property it represents remain the copyright of Young + Richards Ltd.

Sheet Description EXISTING SITE PLAN_PART C

Sheet Scale 1:200 @ A1

Sheet Number

© 2018 Young + Richards Ltd.

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 29 of 97

SCALE: 1:200



KEY NOTES

(01) PROPOSED CONCRETE PATH

(02) ENCLOSED RUBBISH STORAGE

(03) LETTERBOXES

(04) EXTEND EXISTING VEHICLE CROSSING

183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE BEACH HAVEN, AUCKLAND

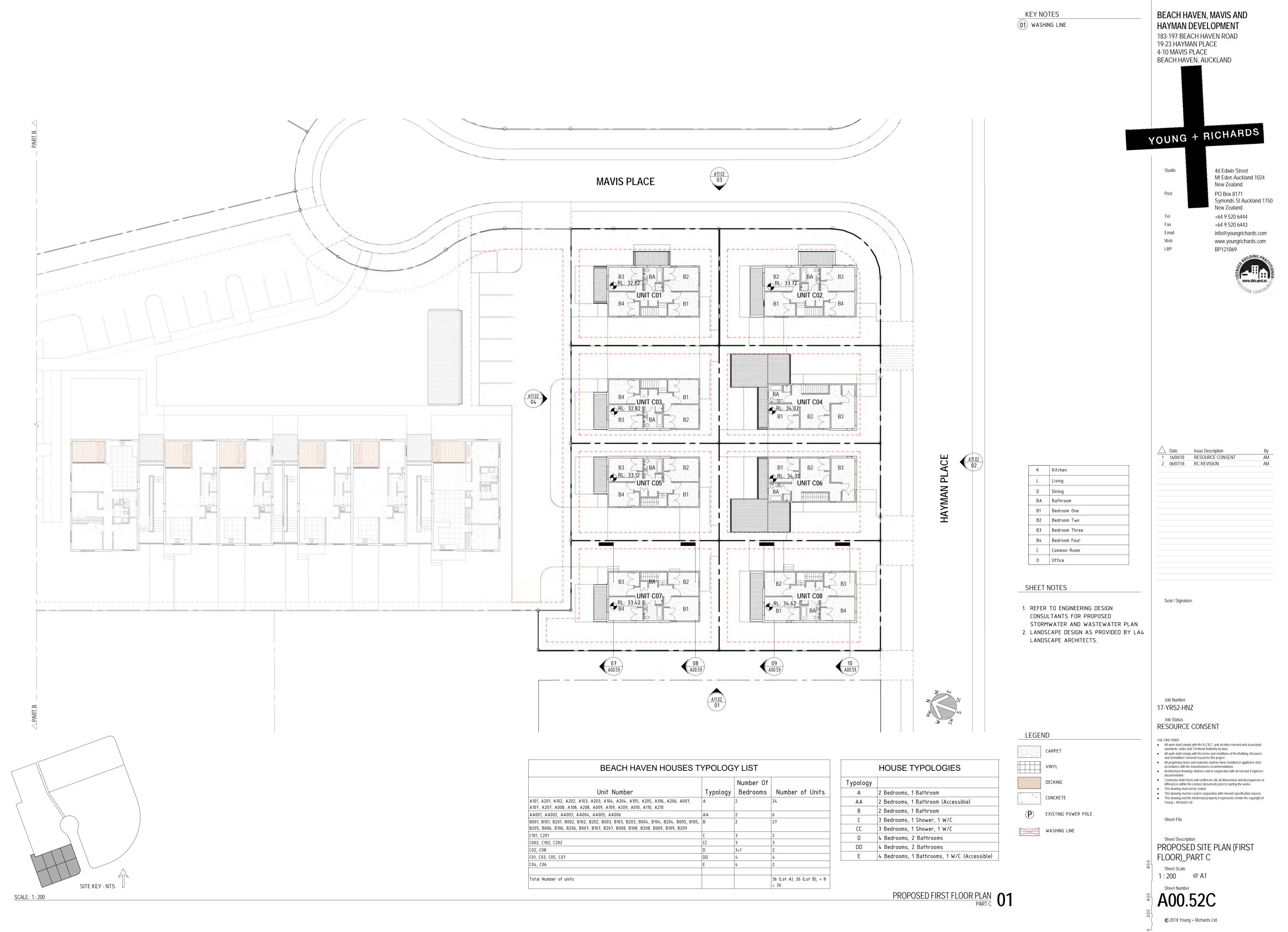
BEACH HAVEN, MAVIS AND

HAYMAN DEVELOPMENT



© 2018 Young + Richards Ltd.

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 30 of 97



Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 31 of 97

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 32 of 97

SCALE: 1:200

1:200 @ A1 Sheet Number

© 2018 Young + Richards Ltd.

Sheet Scale



183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE BEACH HAVEN, AUCKLAND

YOUNG + RICHARDS

4d Edwin Street Mt Eden Auckland 1024 New Zealand

PO Box 8171 Symonds St Auckland 1150 New Zealand

+64 9 520 6444 +64 9 520 6443 info@youngrichards.com Web www.youngrichards.com LBP BP121069



Date Issue Description
1 16/04/18 RESOURCE CONSENT 2 06/07/18 RC REVISION

Seal / Signature

Job Number 17-YR52-HNZ

Job Status RESOURCE CONSENT

- THE FINE PRINT

 All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws.

 All work shall comply with the terms and conditions of the Building, Resource and Demolition Consents issued for this project.

 All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations.

 Architectural drawings shall be read in conjunction with all relevant Engineers documentation.
- Contractor shall check and confirm on site all dimensions and discrepancies or differences within the contract documents prior to starting the works.

 This drawing must not be scaled.
- This drawing must be read in conjunction with relevant specification clauses.
 This drawing and the intellectual property it represents remain the copyright of Young + Richards Ltd.

Sheet Description PROPOSED OUTLOOK GROUND FLOOR_PART C

Sheet Scale 1:200 @ A1

© 2018 Young + Richards Ltd.

Sheet Number

Sheet File



SITE KEY - NTS

SCALE: 1:200

PRINCIPAL BEDROOM OUTLOOK (3M X 3M) OTHER HABITABLE ROOM OUTLOOK (1M X 1M) OUTLOOK INFRINGEMENT

PRINCIPAL LIVING ROOM OUTLOOK

(6M X 4M)

INDICATES OUTDOOR LIVING SPACE (20 M² FOR GROUND LEVEL UNITS, 8 M² FOR BALCONIES ABOVE GROUND LEVEL)

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 34 of 97

BEACH HAVEN, MAVIS AND HAYMAN DEVELOPMENT

KEY NOTES





SITE COVERAGE PLAN AND CALCULATIONS **01** SCALE: 1:500

Sheet Number



KEY NOTES BEACH HAVEN, MAVIS AND HAYMAN DEVELOPMENT 05 A00.60 183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE RL: 5.12
1ST FLOOR CEILING RL: 5.12

IST FLOOR CEILING BEACH HAVEN, AUCKLAND RL: 2.40 FIPS RL: 2.40 GF CEILING 4000 13275 YOUNG + RICHARDS RLRL: 0.00 GROUND LEVEL RL: 0.00 / Studio 4d Edwin Street Mt Eden Auckland 1024 New Zealand PO Box 8171 Symonds St Auckland 1150 New Zealand +64 9 520 6444 CARPARK & DRIVEWAY SECTION 04 CARPARK & DRIVEWAY SECTION 07 +64 9 520 6443 SCALE: 1:100 Email info@youngrichards.com Web www.youngrichards.com LBP BP121069 5000 **MAVIS PLACE** CARPARK & DRIVEWAY SECTION 06 CARPARK & DRIVEWAY SECTION 03 △ Date SCALE: 1:200 Issue Description 1 16/04/18 RESOURCE CONSENT 2 06/07/18 RC REVISION 5000 SHEET NOTES Seal / Signature 1. REFER TO ENGINEERING DESIGN CONSULTANTS FOR CIVIL INFRASTRUCTURE REPORT; APRIL 2018 2. REFER TO TRAFFIC PLANNING CONSULTANTS LIMITED REPORT; APRIL 2018 CARPARK & DRIVEWAY SECTION 05 CARPARK & DRIVEWAY SECTION 02 SCALE: 1:200 Job Number 17-YR52-HNZ Job Status RESOURCE CONSENT LEGEND All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws. 02 A00.60 PROPOSED CONCRETE DRIVE AND PATH All work shall comply with the terms and conditions of the Building, Resource and Demolition Consents issued for this project.

All proprietary items and materials shall be fixed, installed or applied in strict EXISTING GROUND accordance with the manufacturers recommendations.

Architectural drawings shall be read in conjunction with all relevant Engineers documentation. Contractor shall check and confirm on site all dimensions and discrepancies or differences within the contract documents prior to starting the works.
 This drawing must not be scaled. This drawing must be read in conjunction with relevant specification clauses.
This drawing and the intellectual property it represents remain the copyright of Young + Richards Ltd. **HAYMAN PLACE** 1:50 Sheet File Sheet Description PARKING & DRIVEWAY SECTIONS Sheet Scale As indicated @ A1 SITE KEY - NTS Sheet Number CARPARK & DRIVEWAY SECTION 01 SCALE: 1:200

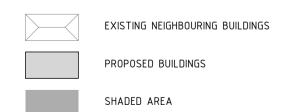
Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 37 of 97

A00.60

© 2018 Young + Richards Ltd.



SHEET NOTES LEGEND KEY NOTES



BEACH HAVEN, MAVIS AND HAYMAN DEVELOPMENT 183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE BEACH HAVEN, AUCKLAND

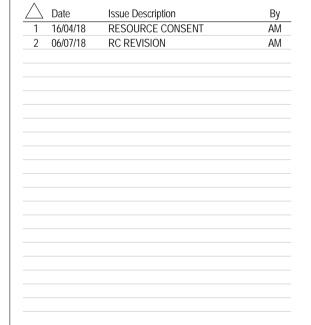
YOUNG + RICHARDS

4d Edwin Street Mt Eden Auckland 1024 New Zealand PO Box 8171 Symonds St Auckland 1150 New Zealand

+64 9 520 6444 +64 9 520 6443 info@youngrichards.com Web www.youngrichards.com

LBP





Job Number 17-YR52-HNZ

Job Status RESOURCE CONSENT

Seal / Signature

THE FINE PRINT

All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws.

All work shall comply with the terms and conditions of the Building, Resource and Demolition Consents issued for this project.

All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations.

Architectural drawings shall be read in conjunction with all relevant Engineers documentation.

Contractor shall check and confirm on site all dimensions and discrepancies or differences within the contract documents prior to starting the works.

This drawing must not be scaled.

This drawing must be read in conjunction with relevant specification clauses.

This drawing and the intellectual property it represents remain the copyright of Young + Richards Ltd.

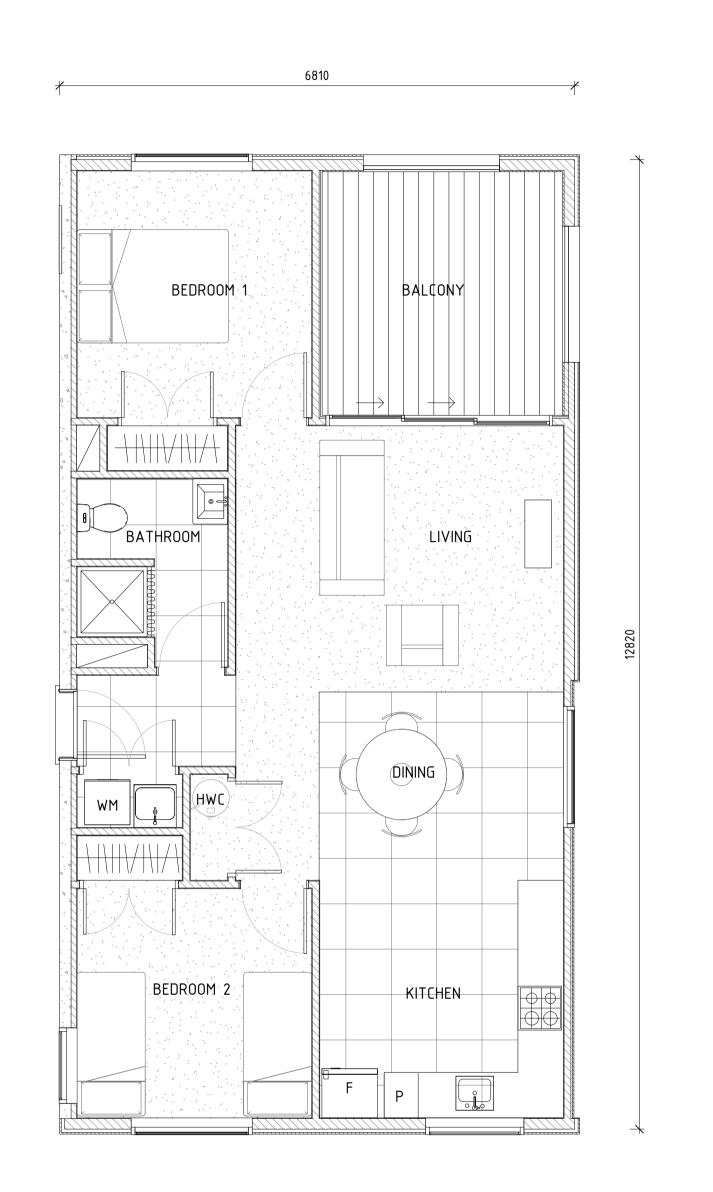
Sheet Description SUN SHADING DIAGRAMS

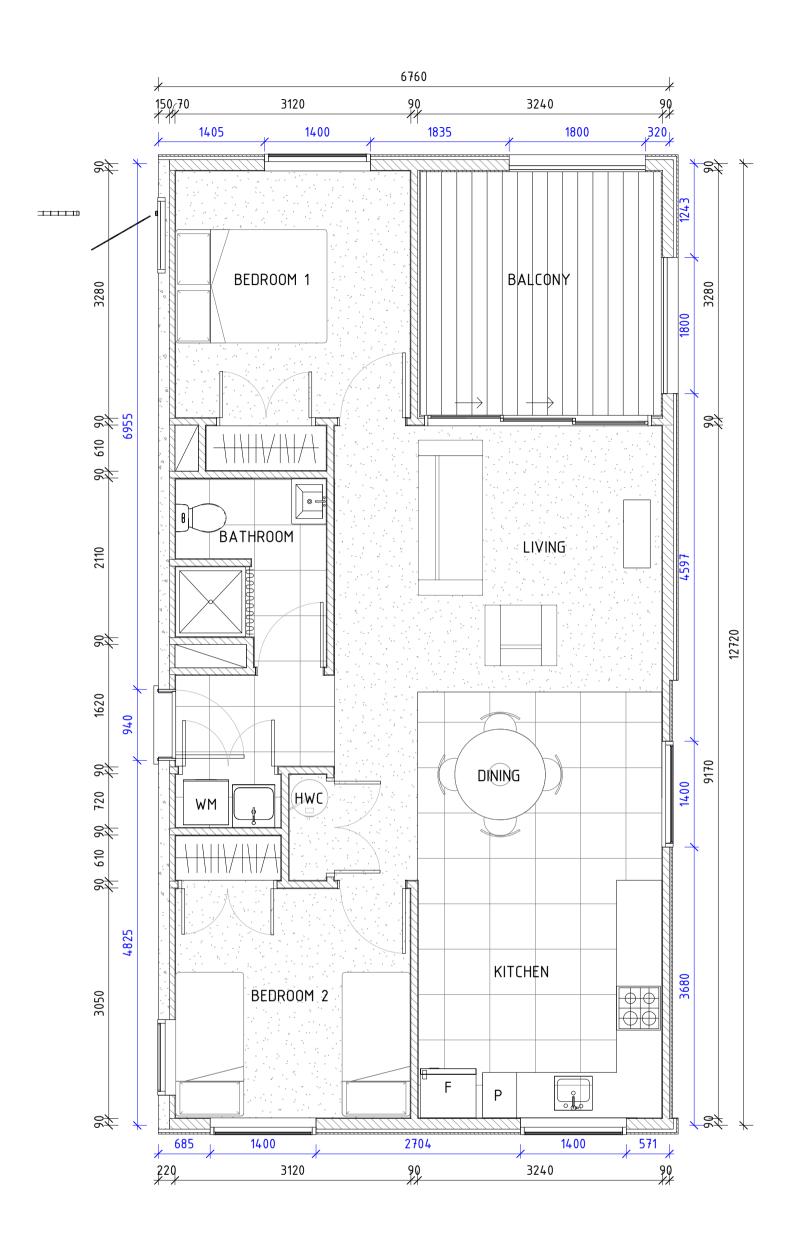
Sheet Scale As indicated @ A1

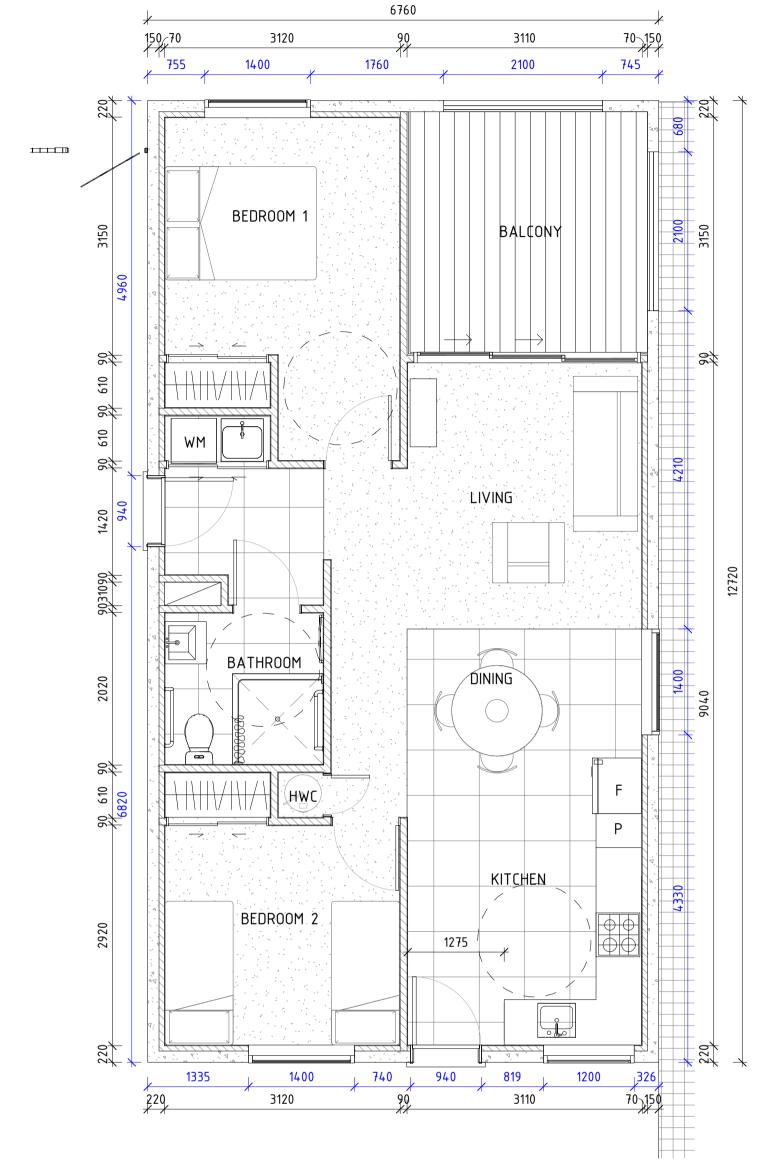
Sheet Number

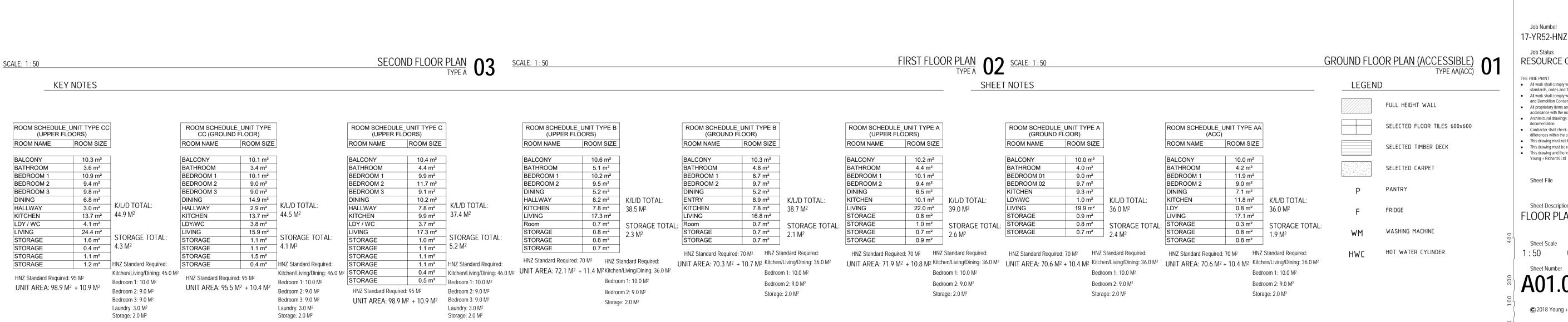
© 2018 Young + Richards Ltd.

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 38 of 97









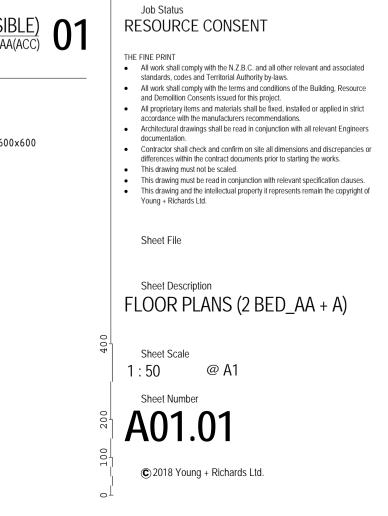
Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 39 of 97



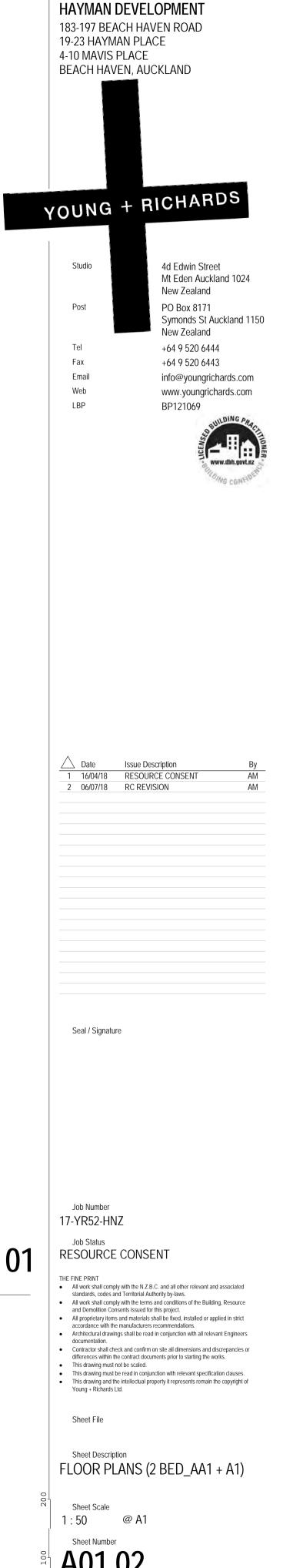
BEACH HAVEN, MAVIS AND

HAYMAN DEVELOPMENT 183-197 BEACH HAVEN ROAD

19-23 HAYMAN PLACE 4-10 MAVIS PLACE

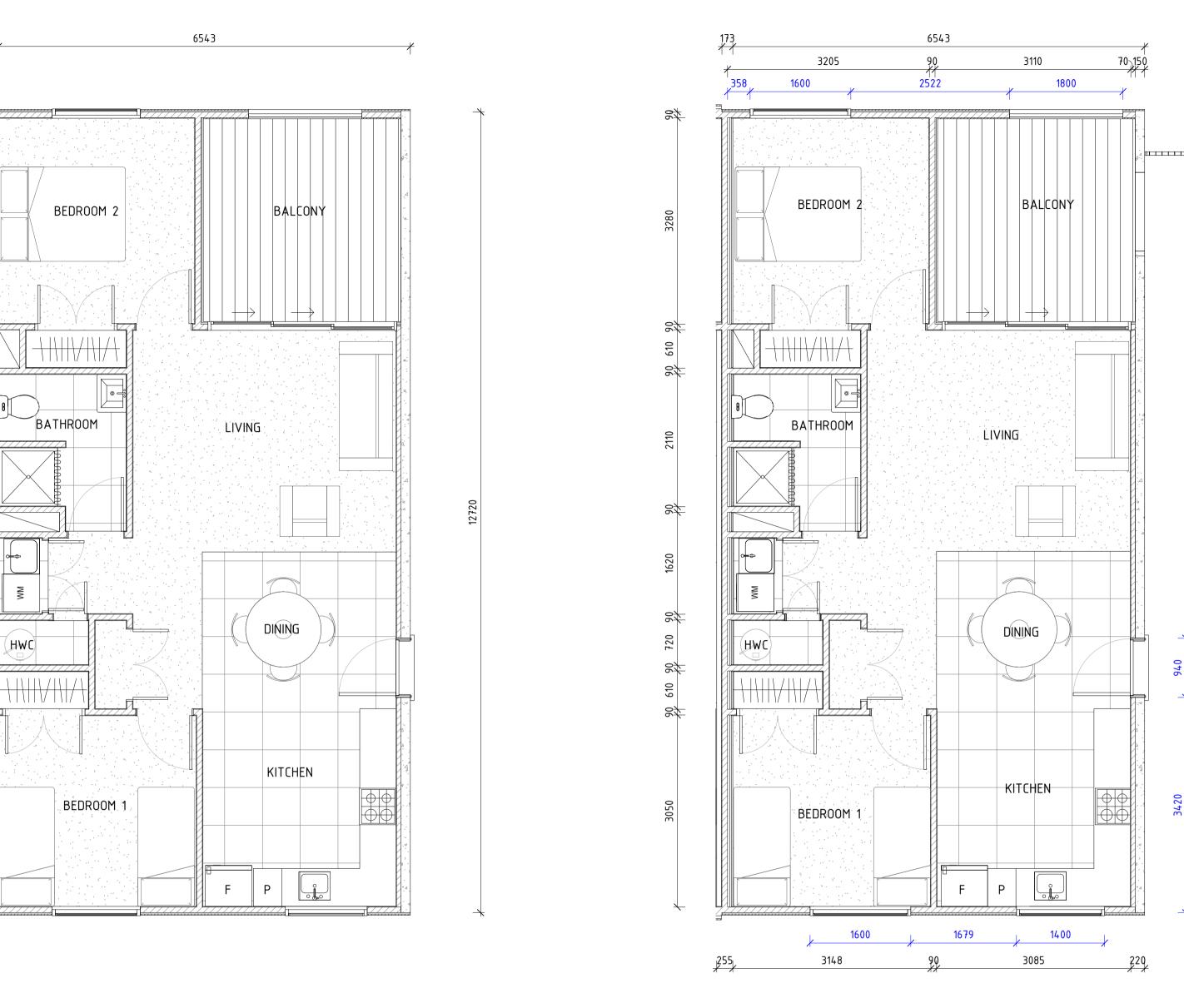


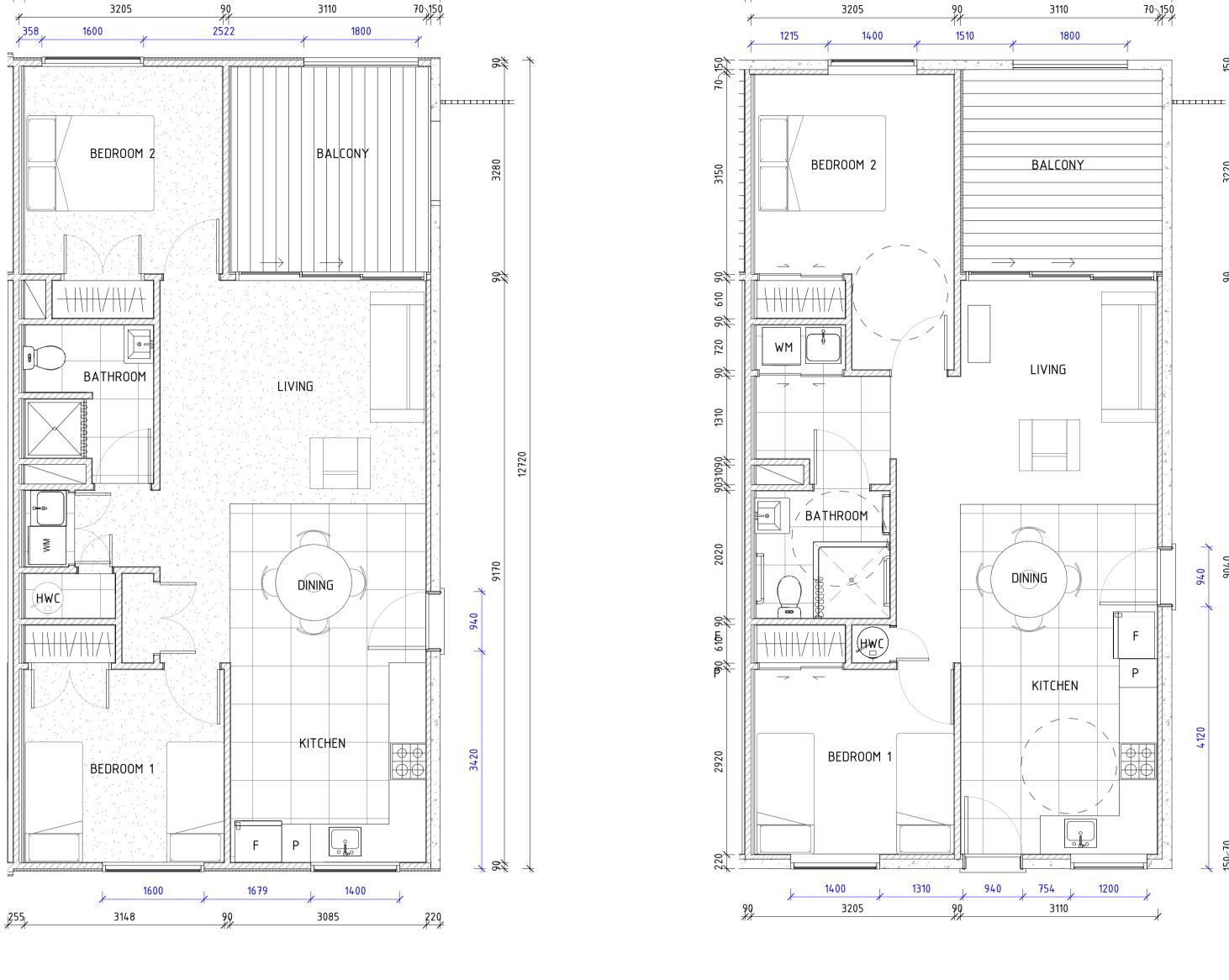
Seal / Signature



© 2018 Young + Richards Ltd.

BEACH HAVEN, MAVIS AND

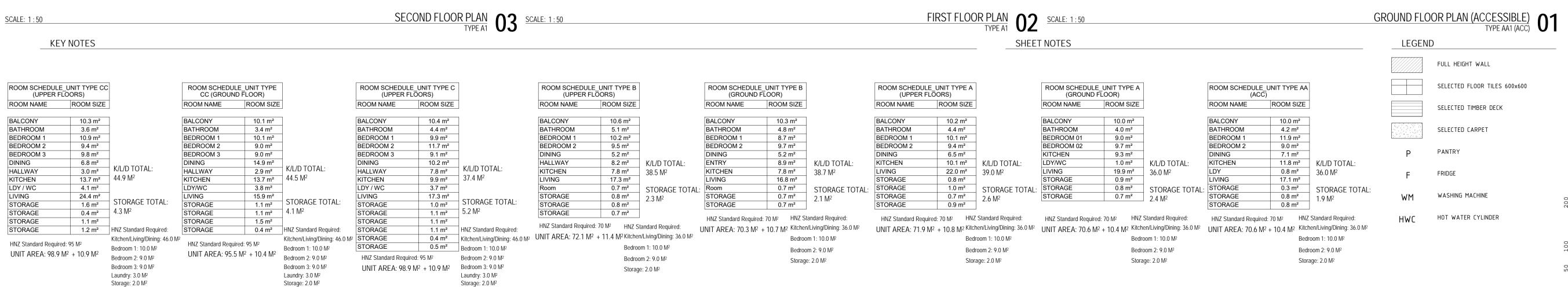




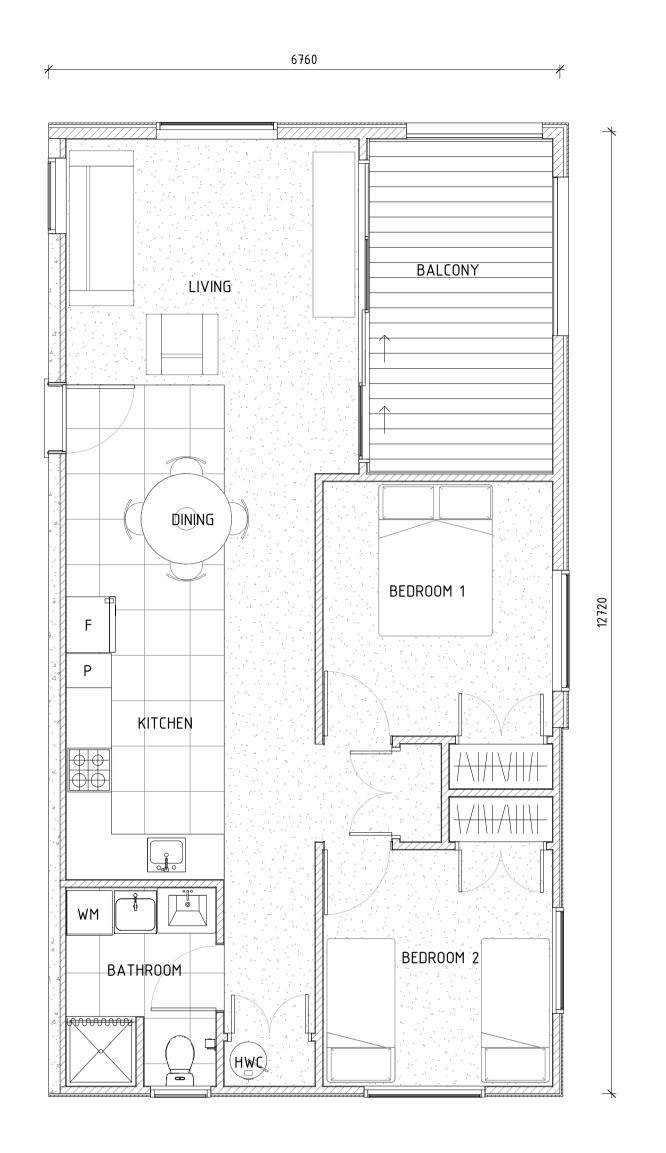
6625

3205

3110



Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 40 of 97



Bedroom 3: 9.0 M²

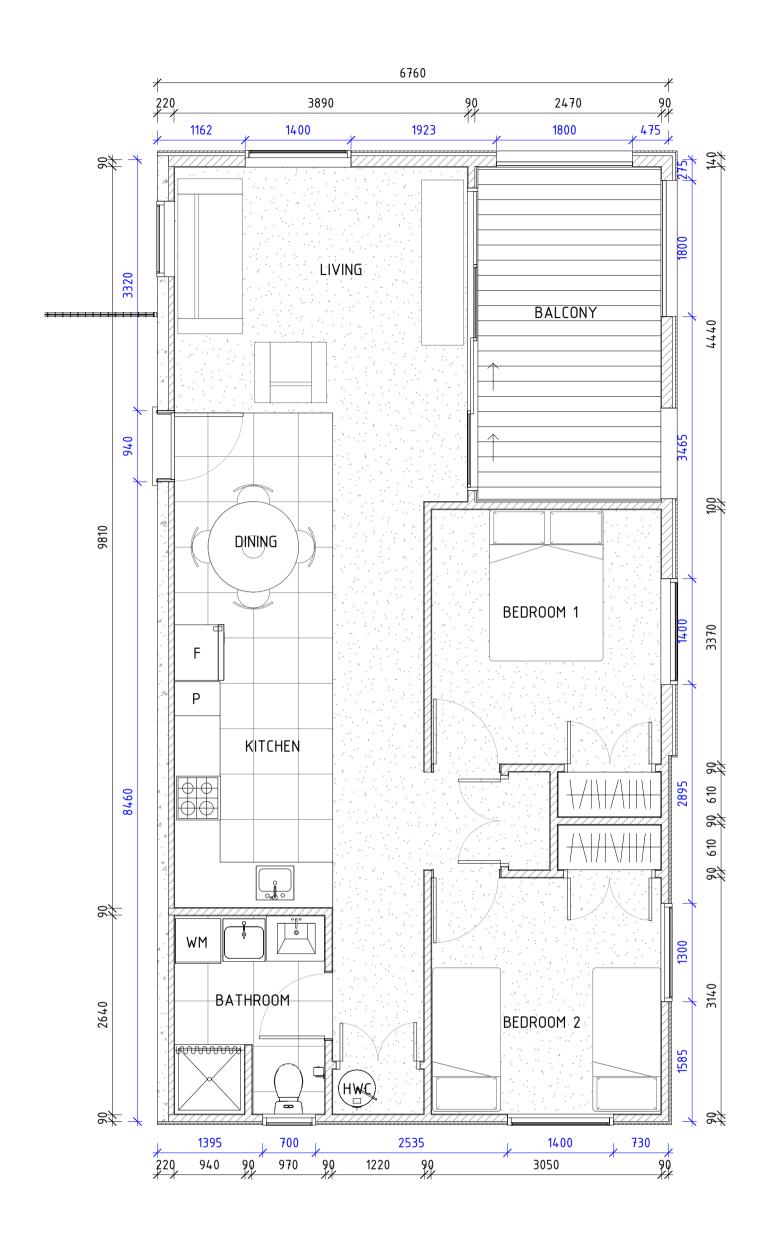
Laundry: 3.0 M²

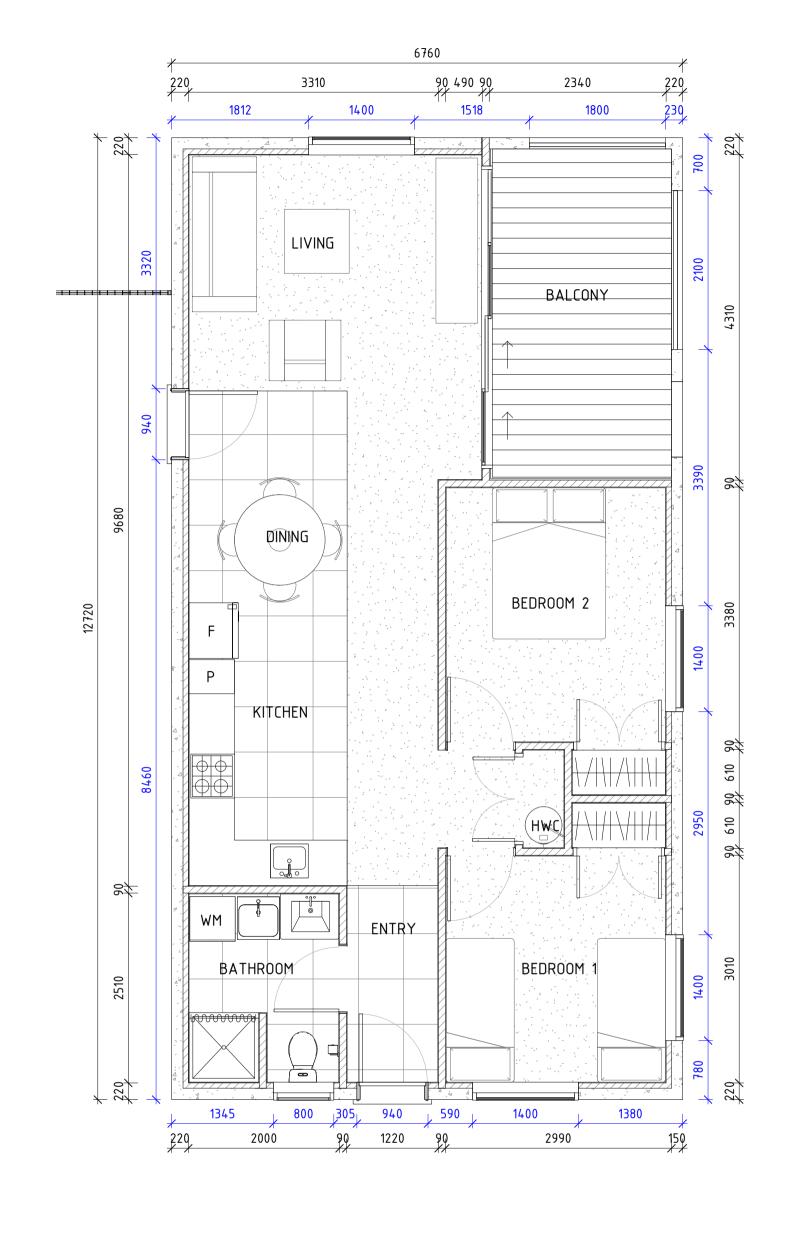
Storage: 2.0 M²

Bedroom 3: 9.0 M²

Laundry: 3.0 M²

Storage: 2.0 M²







BEACH HAVEN, MAVIS AND

HAYMAN DEVELOPMENT 183-197 BEACH HAVEN ROAD

19-23 HAYMAN PLACE 4-10 MAVIS PLACE

BEACH HAVEN, AUCKLAND

YOUNG + RICHARDS

Email

Web

LBP

4d Edwin Street

New Zealand

PO Box 8171

+64 9 520 6444 +64 9 520 6443

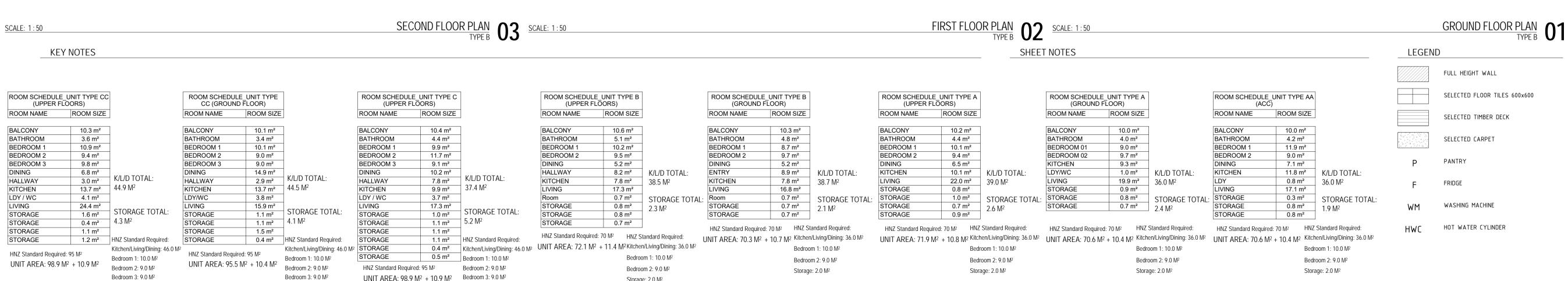
BP121069

Mt Eden Auckland 1024

Symonds St Auckland 1150

info@youngrichards.com

www.youngrichards.com

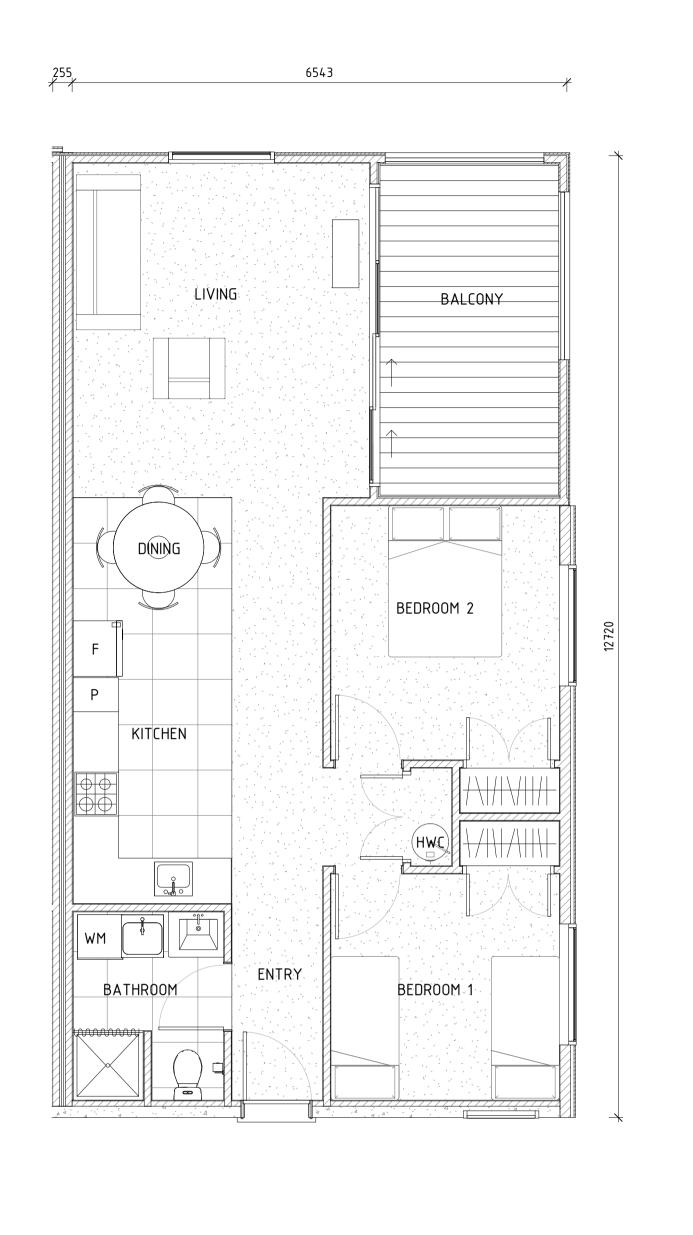


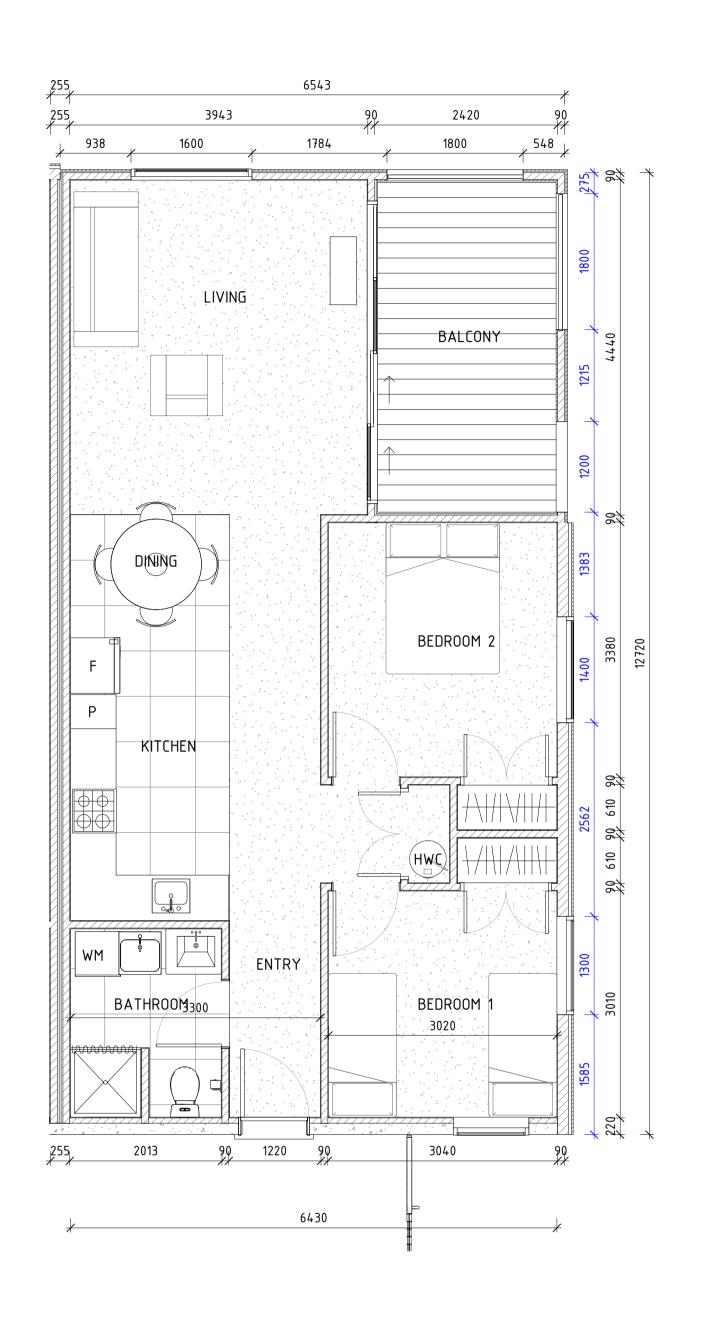
Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 41 of 97

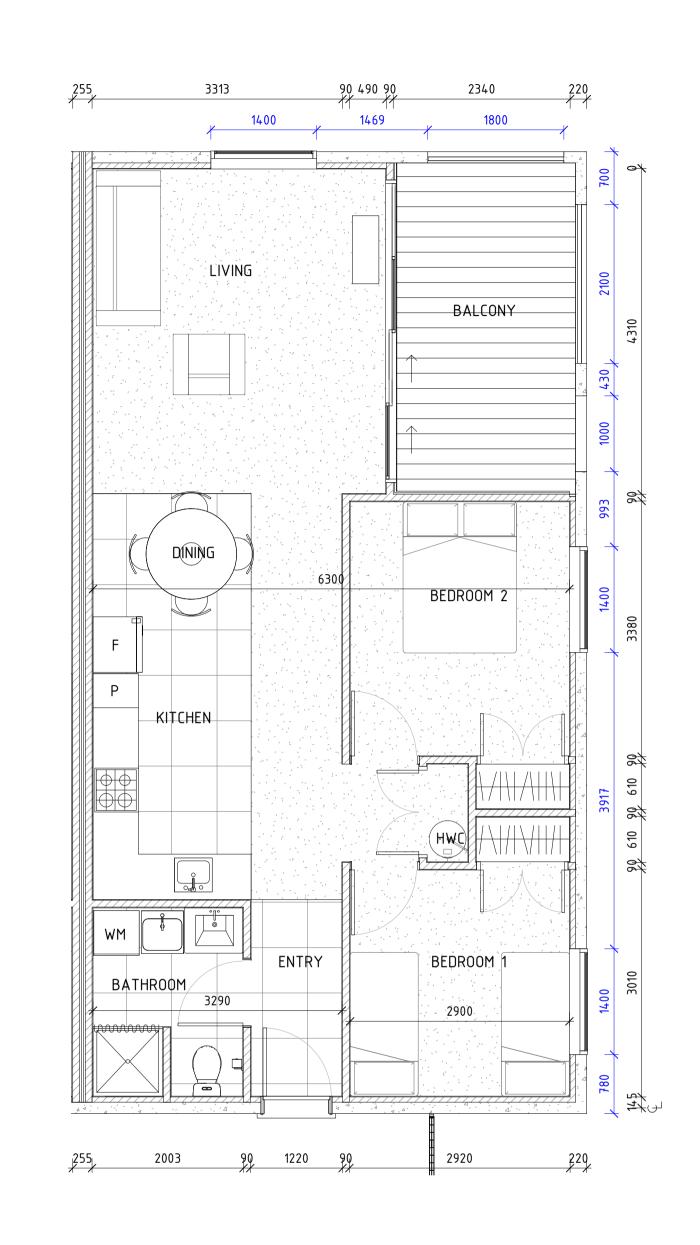
Storage: 2.0 M²

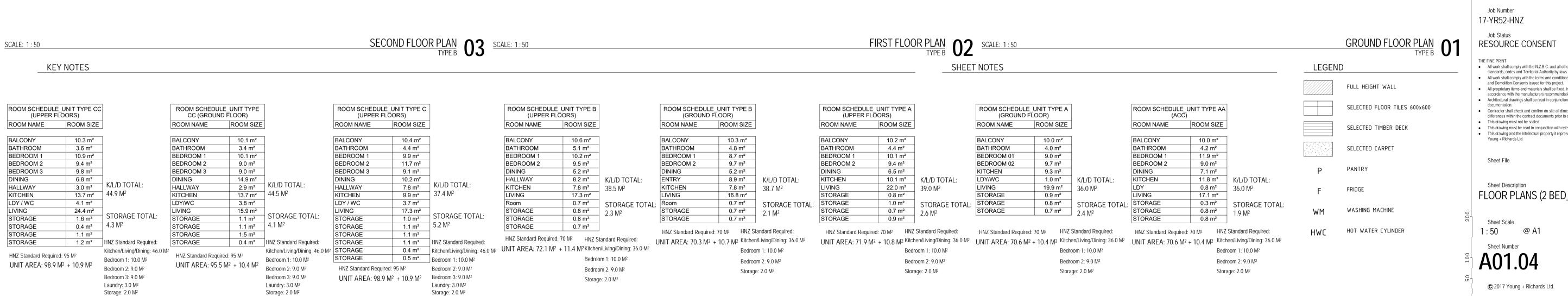
Laundry: 3.0 M²

Storage: 2.0 M²









Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 42 of 97

YOUNG + RICHARDS 4d Edwin Street Mt Eden Auckland 1024 New Zealand PO Box 8171 Symonds St Auckland 1150 +64 9 520 6444 +64 9 520 6443 Email info@youngrichards.com Web www.youngrichards.com LBP BP121069 Issue Date
Issue Description By Check 2 06/07/18 AM EY RC REVISION

BEACH HAVEN, MAVIS AND

HAYMAN DEVELOPMENT 183-197 BEACH HAVEN ROAD

BEACH HAVEN, AUCKLAND

19-23 HAYMAN PLACE 4-10 MAVIS PLACE

 All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws. All work shall comply with the terms and conditions of the Building, Resource

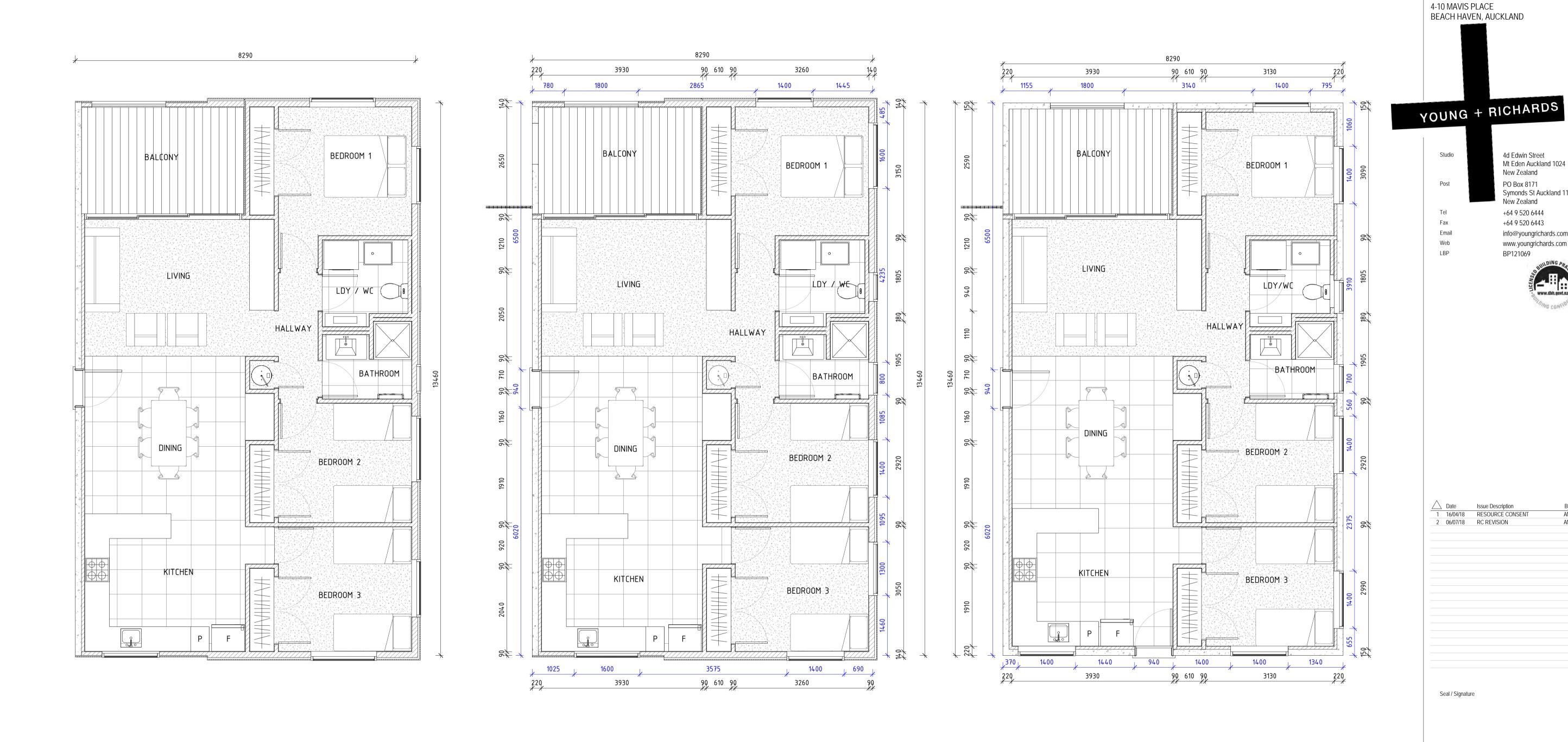
Seal / Signature

- All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations Architectural drawings shall be read in conjunction with all relevant Engineers
- Contractor shall check and confirm on site all dimensions and discrepancies or
- differences within the contract documents prior to starting the works.
- This drawing must be read in conjunction with relevant specification clauses. This drawing and the intellectual property it represents remain the copyright of Young + Richards Ltd.

FLOOR PLANS (2 BED_B1)



BEACH HAVEN, MAVIS AND



BEACH HAVEN, MAVIS AND

4d Edwin Street

New Zealand PO Box 8171

New Zealand +64 9 520 6444 +64 9 520 6443

BP121069

Issue Description

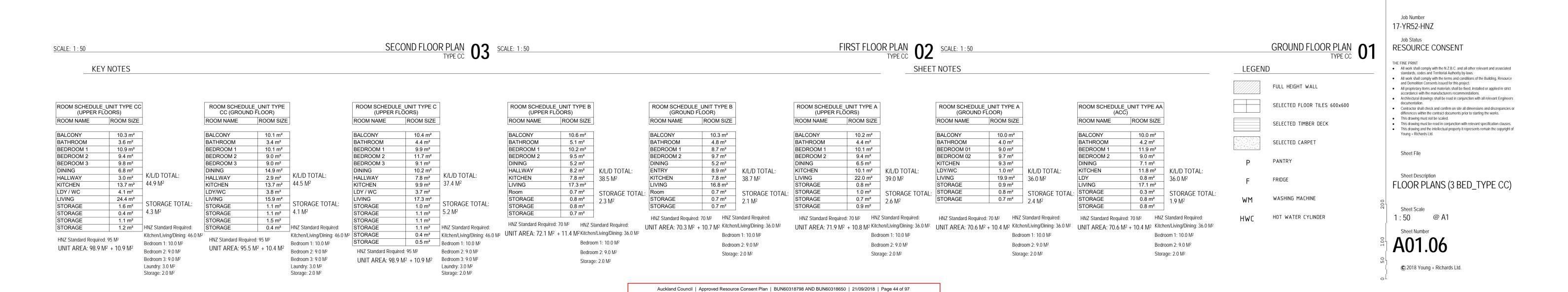
Mt Eden Auckland 1024

Symonds St Auckland 1150

info@youngrichards.com www.youngrichards.com

HAYMAN DEVELOPMENT 183-197 BEACH HAVEN ROAD

19-23 HAYMAN PLACE





SCALE: 1:200

SCALE: 1:200

KEY NOTES

(01) EXISTING NATURAL GROUND

02) RETAINING WALL

03) SECURITY GATE

BEACH HAVEN, MAVIS AND HAYMAN DEVELOPMENT 183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE BEACH HAVEN, AUCKLAND

YOUNG + RICHARDS

4d Edwin Street Mt Eden Auckland 1024 New Zealand

PO Box 8171 Symonds St Auckland 1150 New Zealand +64 9 520 6444

+64 9 520 6443 Email info@youngrichards.com Web www.youngrichards.com LBP BP121069



ELEVATION 04

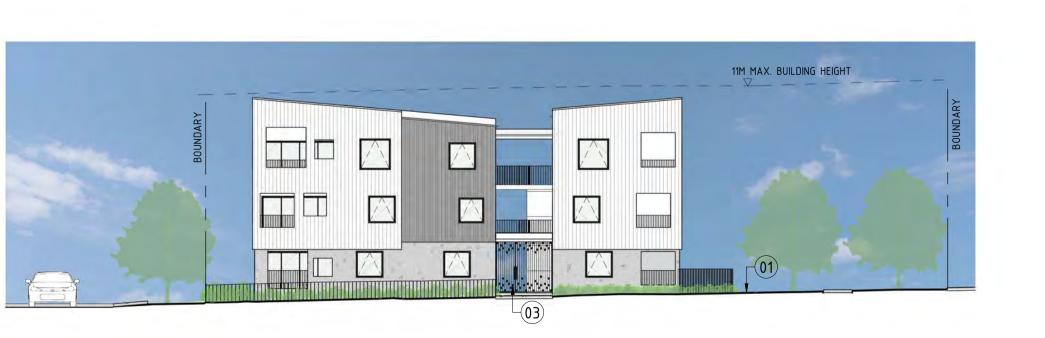


ELEVATION EAST 03 SCALE: 1:200



SHEET NOTES

ELEVATION O2



LEGEND PRECAST CONCRETE STRUCTURE VERTICAL ALUMINIUM CLADDING VERTICAL ALUMINIUM CLADDING DOUBLE GLAZING PROFILED METAL ROOFING LANDSCAPING

RESOURCE CONSENT All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws.

Job Number 17-YR52-HNZ Job Status

Seal / Signature

Issue Description 1 16/04/18 RESOURCE CONSENT 2 06/07/18 RC REVISION

 All work shall comply with the terms and conditions of the Building, Resource All work stand comply with the terms and conductors on the building, Resource and Demolition Consents issued for this project.

All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations.

Architectural drawings shall be read in conjunction with all relevant Engineers decorrected to

documentation. Contractor shall check and confirm on site all dimensions and discrepancies or differences within the contract documents prior to starting the works.
This drawing must not be scaled.

This drawing must be read in conjunction with relevant specification clauses.
This drawing and the intellectual property it represents remain the copyright of Young + Richards Ltd.

Sheet File

Sheet Description SITE ELEVATIONS_PART A

Sheet Scale 1:200 @ A1

© 2018 Young + Richards Ltd.

Sheet Number

ELEVATION WEST 01 SCALE: 1:200

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 45 of 97



KEY NOTES

(01) EXISTING NATURAL GROUND

02) RETAINING WALL

03) SECURITY GATE

YOUNG + RICHARDS

BEACH HAVEN, MAVIS AND

HAYMAN DEVELOPMENT

183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE

BEACH HAVEN, AUCKLAND

Studio 4d Edwin Street Mt Eden Auckland 1024 New Zealand PO Box 8171 Symonds St Auckland 1150

+64 9 520 6444 +64 9 520 6443 Email info@youngrichards.com Web www.youngrichards.com LBP BP121069

New Zealand



Issue Description △ Date 1 16/04/18 RESOURCE CONSENT 2 06/07/18 RC REVISION

Seal / Signature

Job Number 17-YR52-HNZ

Job Status

RESOURCE CONSENT

All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws.

 All work shall comply with the terms and conditions of the Building, Resource All work shall comply with the terms and conductors of the building, Resource and Demolition Consents issued for this project.

 All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations.

 Architectural drawings shall be read in conjunction with all relevant Engineers documentation.

Contractor shall check and confirm on site all dimensions and discrepancies or differences within the contract documents prior to starting the works.
This drawing must not be scaled. This drawing must be read in conjunction with relevant specification clauses.
This drawing and the intellectual property it represents remain the copyright of Young + Richards Ltd.

Sheet File

Sheet Description SITE ELEVATIONS_PART B

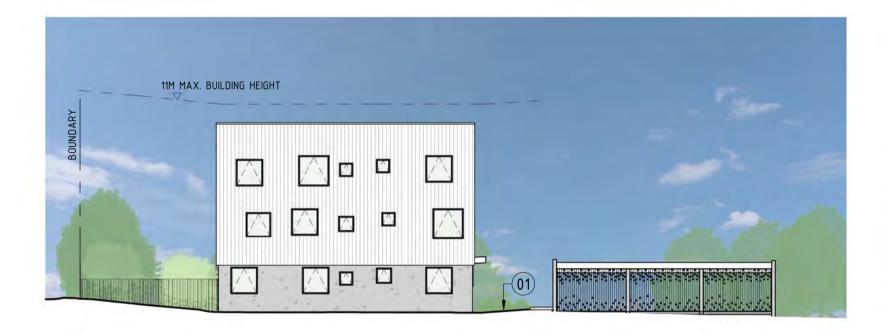
Sheet Scale 1:200 @ A1 Sheet Number

© 2018 Young + Richards Ltd.

ELEVATION 04



ELEVATION EAST 03 SCALE: 1:200



SHEET NOTES

ELEVATION 02 SCALE: 1:200



LEGEND PRECAST CONCRETE STRUCTURE VERTICAL ALUMINIUM CLADDING VERTICAL ALUMINIUM CLADDING DOUBLE GLAZING PROFILED METAL ROOFING LANDSCAPING

SCALE: 1:200

SCALE: 1:200

ELEVATION WEST 01

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 46 of 97



KEY NOTES

(01) EXISTING NATURAL GROUND

02) RETAINING WALL

183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE BEACH HAVEN, AUCKLAND

BEACH HAVEN, MAVIS AND

HAYMAN DEVELOPMENT

YOUNG + RICHARDS

4d Edwin Street Mt Eden Auckland 1024 New Zealand PO Box 8171 Symonds St Auckland 1150 New Zealand

+64 9 520 6444 +64 9 520 6443 info@youngrichards.com Web www.youngrichards.com LBP



SITE ELEVATION_MAVIS PLACE NORTH 04 SCALE: 1:100



SITE ELEVATION_MAVIS PLACE EAST 03 SCALE: 1:100



SHEET NOTES

LEGEND

BRICK VENEER

DOUBLE GLAZING

LANDSCAPING

HORIZONTAL WEATHERBOARDS

PROFILED METAL ROOFING

Job Number 17-YR52-HNZ

<u></u> Date

Date Issue Description
1 16/04/18 RESOURCE CONSENT

2 06/07/18 RC REVISION

Job Status RESOURCE CONSENT

Seal / Signature

- THE FINE PRINT

 All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws.

 All work shall comply with the terms and conditions of the Building, Resource and Demolition Consents issued for this project.

 All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations.

 Architectural drawings shall be read in conjunction with all relevant Engineers documentation.

- documentation.

 Contractor shall check and confirm on site all dimensions and discrepancies or differences within the contract documents prior to starting the works.

 This drawing must not be scaled.

 This drawing must be read in conjunction with relevant specification clauses.

 This drawing and the intellectual property it represents remain the copyright of Young + Richards Ltd.

Sheet File

Sheet Description SITE ELEVATIONS_PART C

Sheet Scale Sheet Number

1:100 @ A1 © 2018 Young + Richards Ltd.

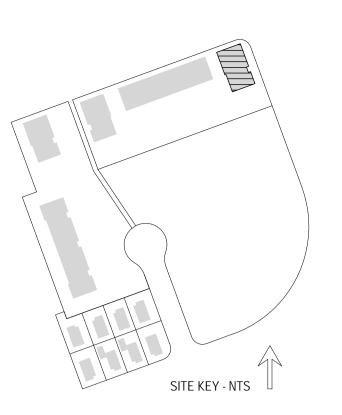
SITE ELEVATION_HAYMAN PLACE SOUTH 02 SCALE: 1:100



SITE ELEVATION_HAYMAN PLACE WEST 01

SCALE: 1:100

Auckland Council | Approved Resource Consent Plan | BUN60318798 AND BUN60318650 | 21/09/2018 | Page 47 of 97





BUILDING A01 ELEVATION WEST 03 SCALE: 1:100



SHEET NOTES BUILDING A01 ELEVATION EAST 02 SCALE: 1:100





LEGEND PRECAST CONCRETE STRUCTURE VERTICAL ALUMINIUM CLADDING VERTICAL ALUMINIUM CLADDING DOUBLE GLAZING PROFILED METAL ROOFING LANDSCAPING

BEACH HAVEN, MAVIS AND HAYMAN DEVELOPMENT 183-197 BEACH HAVEN ROAD 19-23 HAYMAN PLACE 4-10 MAVIS PLACE BEACH HAVEN, AUCKLAND YOUNG + RICHARDS 4d Edwin Street Mt Eden Auckland 1024 New Zealand PO Box 8171 Symonds St Auckland 1150 +64 9 520 6444 +64 9 520 6443 info@youngrichards.com Web www.youngrichards.com LBP BP121069

∠ Date	Issue Description	
1 16/04/1		
2 06/07/1	8 RC REVISION	

Seal / Signature

Job Number 17-YR52-HNZ

Job Status RESOURCE CONSENT

THE FINE PRINT

All work shall comply with the N.Z.B.C. and all other relevant and associated standards, codes and Territorial Authority by-laws.

All work shall comply with the terms and conditions of the Building, Resource and Demolition Consents issued for this project.

All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendations.

Architectural drawings shall be read in conjunction with all relevant Engineers documentation.

documentation.

Contractor shall check and confirm on site all dimensions and discrepancies or differences within the contract documents prior to starting the works.

This drawing must not be scaled.

This drawing must be read in conjunction with relevant specification clauses.

This drawing and the intellectual property it represents remain the copyright of Young + Richards Ltd.

Sheet File

Sheet Description EXTERIOR ELEVATIONS_BUILDING

Sheet Scale 1:100 @ A1

Sheet Number © 2018 Young + Richards Ltd.

BUILDING A01 ELEVATION NORTH 04 SCALE: 1:100 BUILDING A01 ELEVATION SOUTH 01 SCALE: 1:100